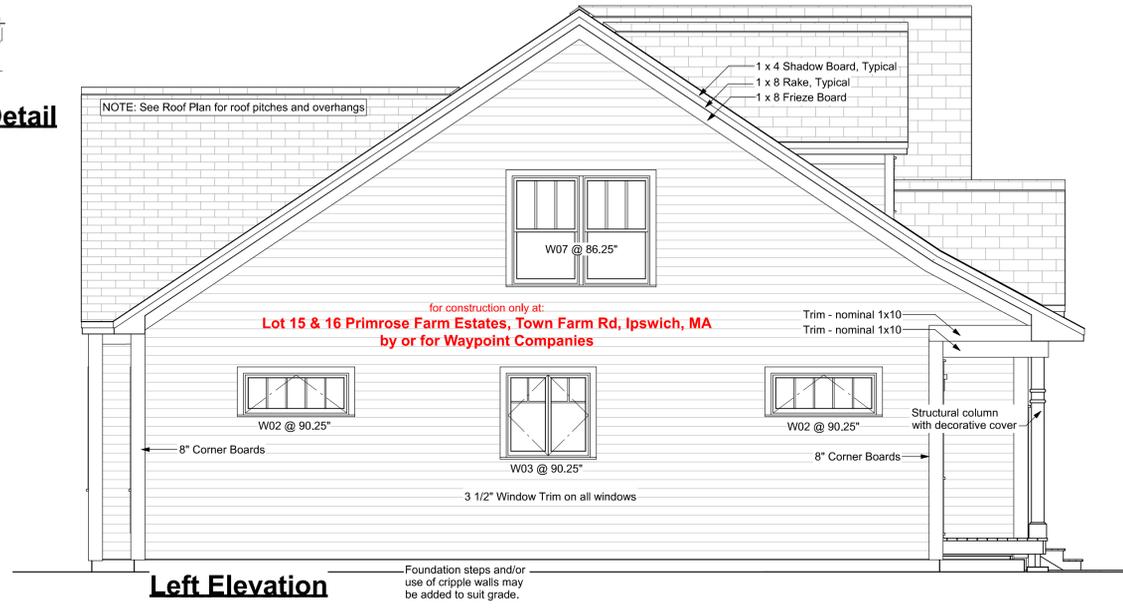
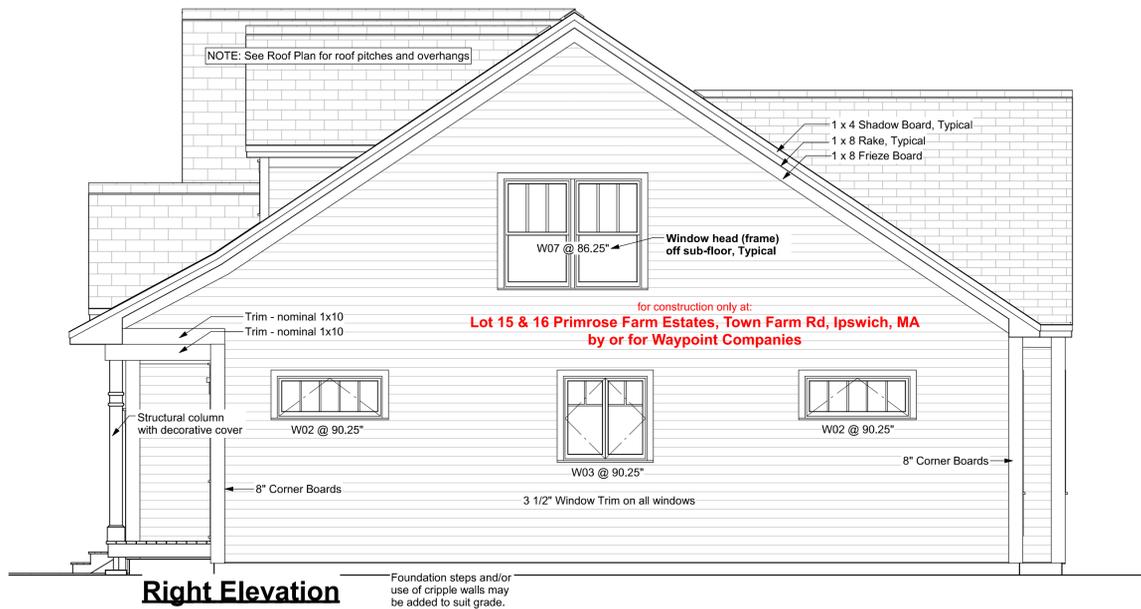
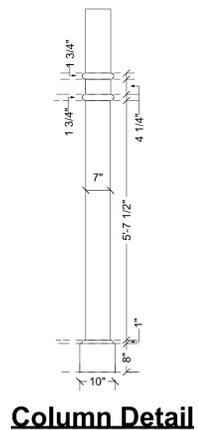
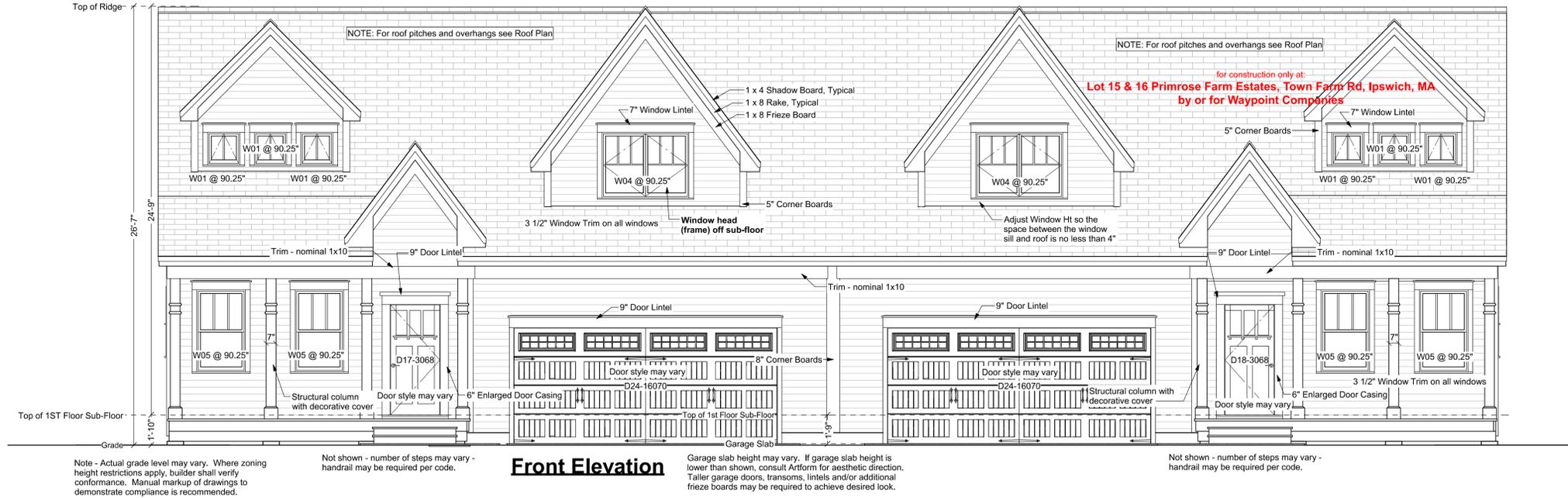


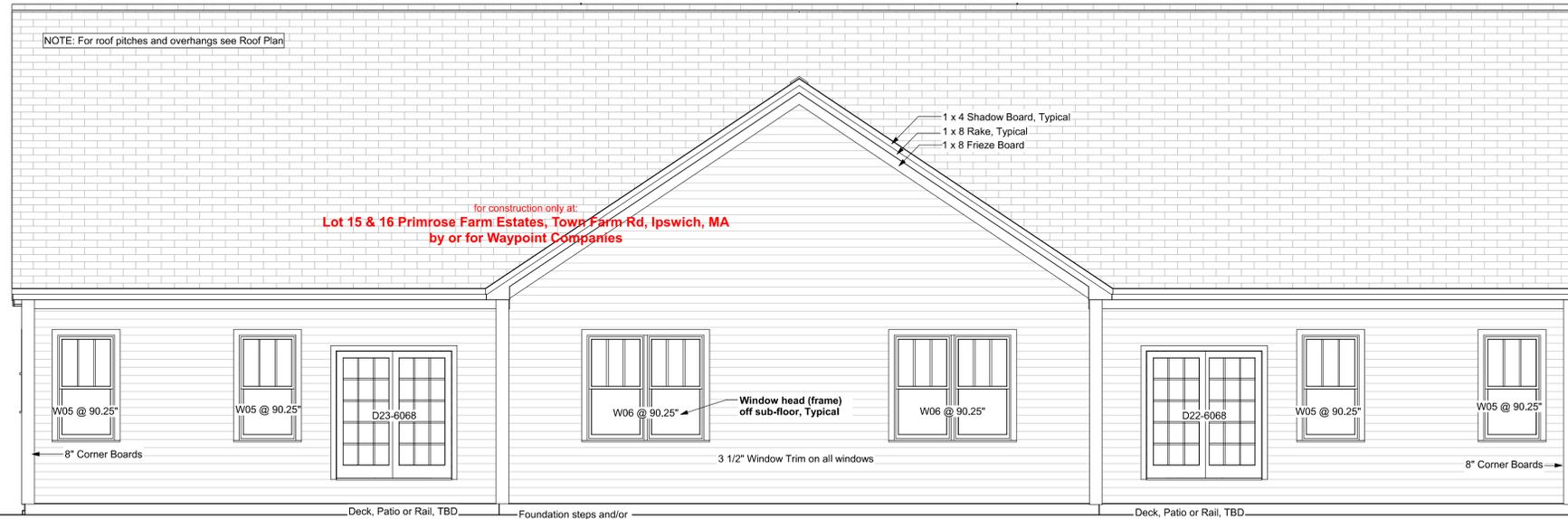
# Mayapple Patty Cake Duplex (Market Rate Units)



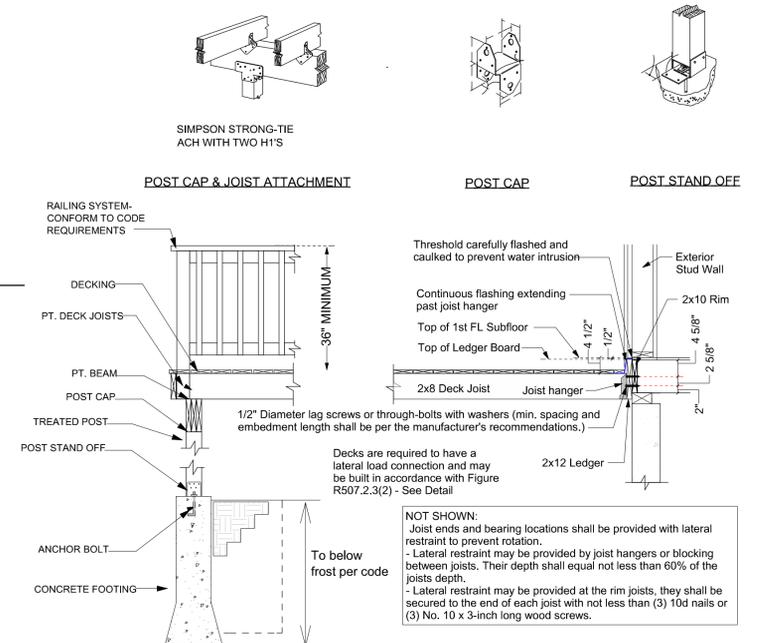
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# Mayapple Patty Cake Duplex (Market Rate Units)

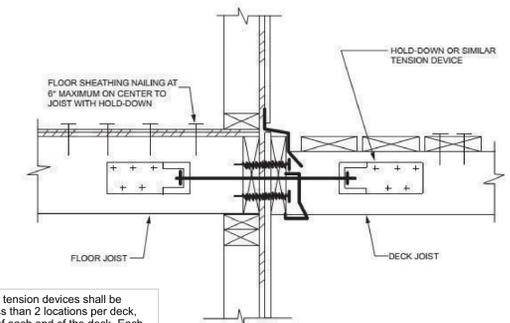


### Rear Elevation



### Deck Ledger Attachment Detail for Step Down

Scale: 1/2" = 1'-0"

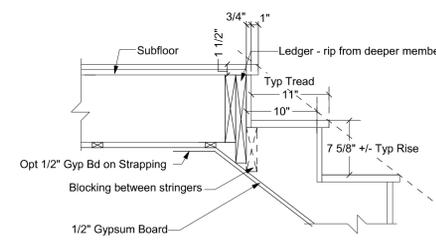


NOTE: hold down tension devices shall be installed in not less than 2 locations per deck, within 24 inches of each end of the deck. Each device shall have an allowable stress design capacity of not less than 1,500 lbs.

### FIGURE R507.2.3(2) DECK ATTACHMENT FOR LATERAL LOADS



### Line of Stair Clearance



Detail shows assumptions used for framing plan RO  
Framer may adjust to suit different head support methods

### Top of Carriage (C) Scale: 1" = 1'-0"

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**Artform Home Plans**  
AFHP Design # 816.224  
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**Mayapple Patty Cake Duplex**  
Lot 15 & 16 Primrose Farm Estates, Town Farm Rd  
Ipswich, MA

Wall Types

Exterior walls 2x6 wood stud  
Interior walls 2x4 wood stud, unless noted otherwise

Wall Keys

- 2 2x wood studs on the flat
3 2x3 wood stud wall, 16" oc
6 2x6 wood stud wall, 16" oc

Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

- A 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")
F Field locate for plumbing or mechanical
V Verify size of fixture or appliance Adjust dimensions to accommodate
S Snug - Door or Window trim will be snug and may need to be cut down
C Center - Place door or window centered on wall
D Double Stud or structural mull - adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.

- SD Smoke Detector
CO Carbon Monoxide Detector
HD Heat Detector

Dimensions

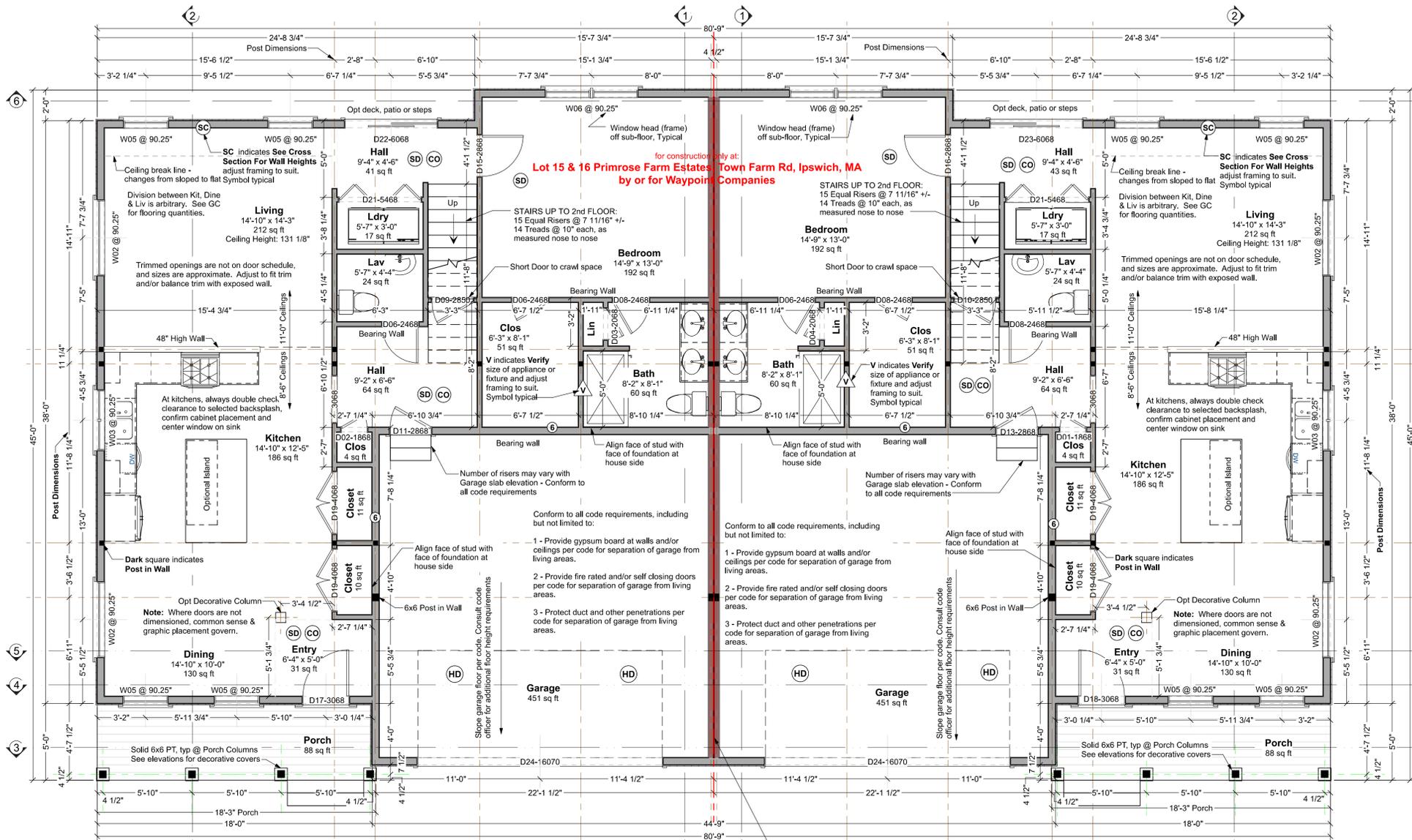
- 1. Dimensions are to face of stud, unless noted otherwise.
2. Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

- 1. Sq ft numbers are interior to room for use in calculating finishes.
2. Cabinets and fixtures not subtracted.
3. Add for doorways when floor finishes run through.

Notes

- 1. Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
2. Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.
3. Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
4. Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
5. Provide smoke detectors where shown, where required by code and where required by local authorities.
6. Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 5/8" Type X drywall on walls and ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials. See Table R306.6 IRC 2015.
7. Compliance with code requirements for room size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
8. Shear is only called out where Continuous Portal Frame will not suffice. See Section R502.10.4 (Pages 177 - 189) of the IRC 2015 with MA amendments.



First Floor Plan

Living Area this Floor: 1189 sq ft per unit  
Finished Ceiling Height this Floor: 8'-6", unless noted otherwise

NOTE TO HOMEOWNER: These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and it's attachments (like the builder's specifications or a review set of this design) describes what you and your builder agreed the builder would build for you. We here at Artform Home Plans do not have the authority to obligate your builder to provide you with amenities like fireplaces and sea tubs. The contract between you and your builder governs.

Fire separation between units to be 1 hour per code 1 1/2 hour shown. Use double bearing wall Design No. U370 continuous to roof sheathing (See Detail on Pg 4). Construct the 2x4 wood studs on separate plates 1" apart. Builder to add one extra layer of drywall to right hand unit for an added sound barrier.

Note: The fire-resistance-rated wall or assembly separating townhouses shall be continuous from the foundation to the underside of the roof sheathing, deck or slab. The fire-resistance rating shall extend the full length of the wall or assembly, including wall extensions through and separating attached enclosed accessory structures.

Mayapple Patty Cake Duplex (Market Rate Units)



Dear Code Officer,

These are pre-designed home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. Where traditional "interior" home plans disclaim all responsibility, we sign responsibility between us (Artform) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting code in ways that a quality builder should know without an explicit detail. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2015 with MA amendments code sections:

- 1 - Room sizes (Section R304)
2 - Ceiling Height (Section R305)
3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
4 - Hallway widths (Section R311.6)
5 - Door types & sizes (Section R311.2)
6 - Floor space in front of doors (Section R311.3)
7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
8 - Stair headroom (Section R311.7.2)
9 - Stair treads and risers (Section R311.7.5)
10 - Landings for stairways (Section R311.7.6)
11 - Emergency Escape Window Size (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be sized according to the manufacturer's tables for loads and spans, or sizes will have been calculated using manufacturer's published materials properties.
13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to site specific conditions (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

Dear Everybody,

These drawings a copyright license is granted for a single construction only at Lot 15 & 16 Primrose Farm Estates, Town Farm Rd, Ipswich, MA by or for Waypoint Companies. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or fulfill builder's/owner's responsibilities.

- Permissible uses of these drawings:
1. All activities associated with construction at the listed address.
2. Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - http://www.artformhomeplans.com/contact.a5x.

- Not Permitted:
1. Application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conservation, or design review.
2. Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution, as it is stealing or enabling theft of "intellectual property". Making modifications to plans, even significant ones, does not change this, under copyright law, that's considered "derivative works".

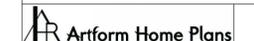
We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information.

Artform Home Plans 184-310\_JRC 2015\_MASS

These drawings are intended for use by an experienced professional builder in responsible charge of the entire project, including but not limited to mechanical, electrical and sitework. Any additional adaptation for these trades or other trades must be determined prior to start of construction. Contact Artform for any adjustments needed.

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Artform Home Plans  
184-310\_JRC 2015\_MASS

Mayapple Patty Cake Duplex  
Lot 15 & 16 Primrose Farm Estates, Town Farm Rd  
Ipswich, MA

1/4"=1'-0" unless noted otherwise / Print @ 1:1  
PDF created on: 5/30/2019, drawn by: ACJ  
Construction  
R3: 5.29.2019 - Add crawl space, 2x12 rafters 1st Floor



Structural General Notes:

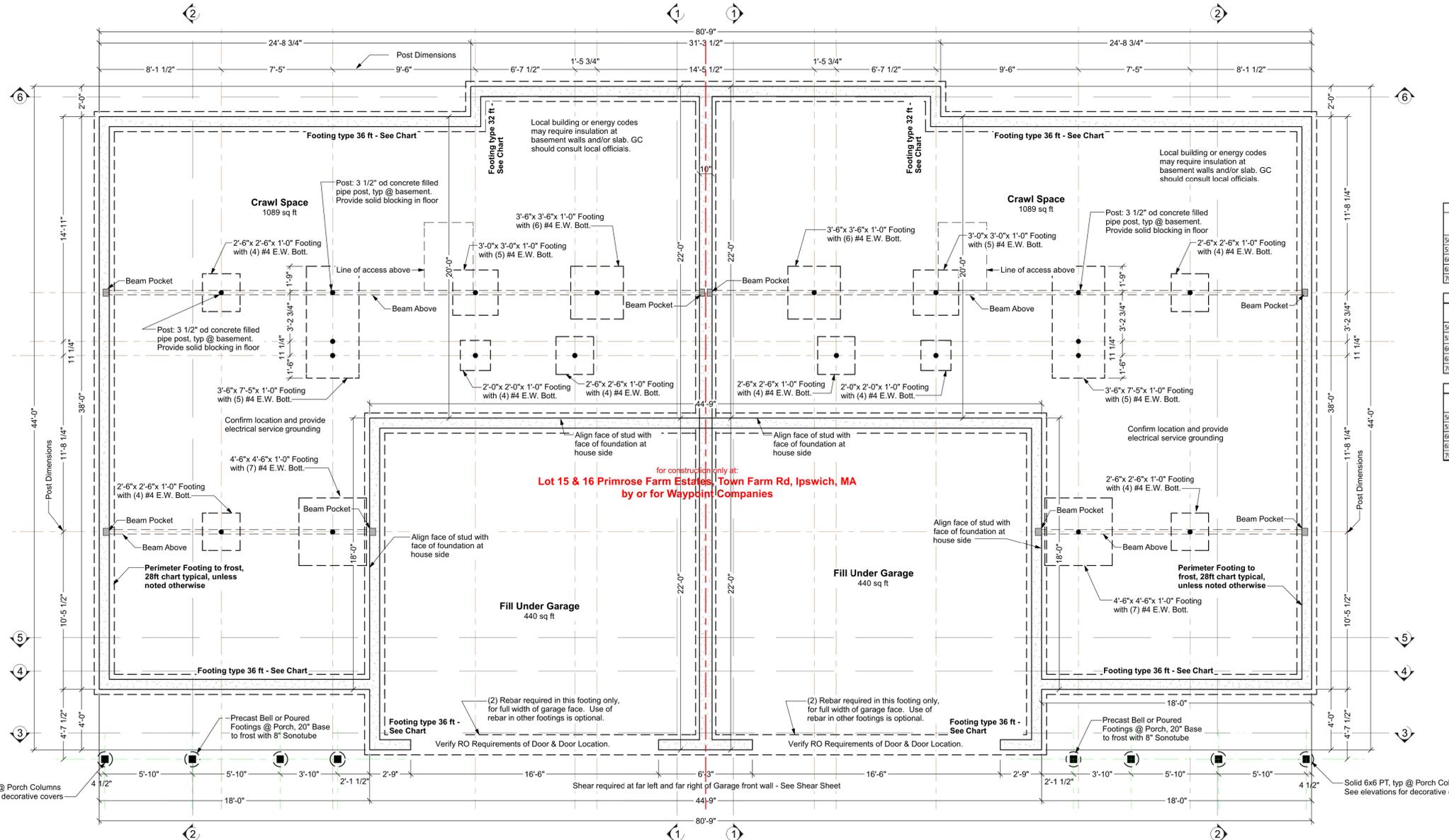
- 1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
3. Design is based on the snow load listed on the framing plans, 100 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

Foundations

- 1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.
2. All exterior footings to conform to all applicable code requirements for frost protection.
3. All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.
4. Foundation anchorage to comply with IRC 2015 with MA amendments Section R403.1.6, it shall consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 72" oc for two stories or 48" oc for more than two stories, max. of 12" from each corner, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by your code officer as a story. Additional anchorage may be required at braced walls.

Wood Framing

- 1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.
2. Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.
3. When used, LVL or PSL indicate Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufactured by TrusJoist.
4. When used, AJS indicates wood I-joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.
5. All floor joists shall have bridging installed at mid-span or at 8'-0" oc maximum.
6. Floor systems are designed for performance with subfloor and screed.
7. At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.
8. All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.
9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 8x8 for heights above that.
10. Wherever beams are noted as Flush framed, install joist hangers at all joists, sized appropriately for the members being connected.
11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.
12. Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional post(s).
13. Hangers, post caps, ties and other connectors shall be as manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.



Foundation Plan
Structure designed for
Snow Load of 50 psf



NOTE: Foundation reinforcing steel is to be installed in accordance with all applicable provisions of IRC 2015 Section 404.1.3.2

Post Caps: Typically supplier calculates weights based on these framing plans. Contact Art Form if additional information is needed.

TYPICAL PERIMETER FOUNDATION WALL:

- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, as follows:
(1) #4 rebar, 4" from top
(1) #4 rebar @ vertical midpoint. Omit this rebar at walls 4 ft high or less.
(1) #4 rebar, min 3" from bottom or per code
Lap corners & splices of rebar per code.
Secure sill to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6' oc & max 12" from each corner & each end @ wood sill splices - if built-up sill, bolts must extend through all sill plates or straps must secure all sill plates.

TYPICAL PERIMETER FOOTING:

- 1 Use Footing chart(s) below to verify that depth of home matches chart. Depth is foundation dimension eave to eave. Contact Artform Home Plans if you believe the chart does not match the plan.
2 Select row for snow load shown on the structural plans
3 Select a column for soil bearing pressure based on soil type and/or consultation with code officer.
4 The required footing size is at the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation wall to footing per code.
FAQ - Adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

Table: 8" wall - Footing Size for 28 Ft wide house. Columns: Snow Load, Story and type of structure, Load Bearing Value of Soil (PSF) (1500, 2000, 3000). Rows: 50 PSF, 55 PSF, 60 PSF, 65 PSF, 70 PSF.

Table: 8" wall - Footing Size for 32 Ft wide house. Columns: Snow Load, Story and type of structure, Load Bearing Value of Soil (PSF) (1500, 2000, 3000). Rows: 50 PSF, 55 PSF, 60 PSF, 65 PSF, 70 PSF.

Table: 8" wall - Footing Size for 36 Ft wide house. Columns: Snow Load, Story and type of structure, Load Bearing Value of Soil (PSF) (1500, 2000, 3000). Rows: 50 PSF, 55 PSF, 60 PSF, 65 PSF, 70 PSF.

Foundation Contractor Check List

Confirm or review the following prior to forming & pouring foundation

- Initials Date Checked
Confirmed soil bearing
Checked w/GC for added foundation steps to suit grade
Confirm sill plate thickness (foundation bolts to extend through all)
Confirmed garage door size
Checked w/GC for added basement windows
Checked w/GC for added basement man doors
Confirmed sizes & locations mech/plbg penetrations
Confirmed sizes and locations of beams w/GC, added or adjusted beam pockets
Confirmed location and installed electrical service grounding - See GC for location

MINIMUM VERTICAL REINFORCEMENT FOR 8-INCH (203MM) NOMINAL FLAT CONCRETE BASEMENT WALL

Table with columns: MAXIMUM UNSUPPORTED WALL HEIGHT (feet), MAXIMUM UNBALANCED BACKFILL HEIGHT (feet), MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (inches) for soil classes OW, GM, SC, ML, CL, and inorganic CL.

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