

FACILITY CONDITION ASSESSMENT

prepared for

Town of Ipswich

25 Green Street

Ipswich, Massachusetts 01938



FACILITY CONDITION ASSESSMENT
OF
TOWN OF IPSWICH / MUNICIPAL BUILDINGS
MULTIPLE ADDRESSES
IPSWICH, MASSACHUSETTS 01938

PREPARED BY:

EMG | A Bureau Veritas Group Company
10461 Mill Run Circle, Suite 1100
Owings Mills, Maryland 21117
800.733.0660
www.EMGcorp.com

EMG CONTACT:

Bill Champion
Program Manager
800.733.0660 x6234
bchampion@emgcorp.com

EMG PROJECT #:

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ON SITE DATE:

January 14-18, 2019



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1. Executive Summary

Portfolio Overview & Assessment Details

General Information

Property Type/s	Municipal Buildings
Main Addresses	Town Hall: 25 Green Street, Ipswich, Massachusetts 01938 Central Fire Station: 59 Central Street, Ipswich, Massachusetts 01938 Police and Annex: 15 Elm Street, Ipswich, Massachusetts 01938 Haskell House: 36 South Main Street, Ipswich, Massachusetts 01938 Linebrook Fire Station: 216 Linebrook Road, Ipswich, Massachusetts 01938 Library: 25 North Main Street, Ipswich, Massachusetts 01938 Highway Garage: 100 County Road, Ipswich, Massachusetts 01938 Highway Salt Barn: 100 County Road, Ipswich, Massachusetts 01938
Sites Developed	Town Hall: 1936 Central Fire Station: 1890 Police & Annex: 1900 Haskell House: 1819 Linebrook Fire Station: 1985 Library: 1869 Highway Garage: 1950 Highway Salt Barn: 1975
Number of Buildings	Eight
Current Occupants	Town Hall: Ipswich town Offices, Senior Center Central Fire Station: Fire Department Police & Annex: Police Department Haskell House: Visitors Center Linebrook Fire Station: Fire Department Library: Library Highway Garage: Highway Department Highway Salt Barn: Highway Department

General Information

Percent Utilization	Town Hall: 100% Central Fire Station: 100% Police & Annex: 1900 Haskell House: 100% Linebrook Fire Station: 100% Library: 100% Highway Garage: 100% Highway Salt Barn: 100%
Date(s) of Visit	January 14-18, 2019
Management Point of Contact	Chris Rais, Facilities Manager, Town of Ipswich 781.704.7787 phone chris@ipswich-ma.gov email
On-site Point of Contact (POC)	Same as above
Assessment & Report Prepared By	Ralph Manglass
Reviewed By	Daniel White, Technical Report Reviewer for Bill Champion, Program Manager bchampion@emgcorp.com 800.733.0660 X6234

Portfolio-Level Findings & Deficiencies

Historical Summary

The municipal buildings are of varying ages and construction types. The Town Hall was formerly a school. The Haskell Hall house was an historic residence. The Police & Annex was a warehouse for the Water Department. The Fire Stations and highway garage/salt barn were built for their current **usages**.

Architectural

All of the buildings are in good to fair condition. The Town Hall, the Police & Annex and the Library buildings have older windows that need replacing. The Haskell Hall House windows need repairs or restoration. The Police & Annex, Haskell Hall House, Linebrook Fire Station, and Highway garage/Salt barn need exterior maintenance.

Mechanical, Electrical, Plumbing & Fire (MEPF)

The MEPF equipment at all of the buildings was operational with evidence of regular upgrades and professional maintenance. A rebalancing/recommissioning of the Library HVAC systems is recommended to address several reported operational issues and some maintenance deficiencies that were noted. The furnace installation at the Linebrook Fire Station appears incorrect and needs to be reviewed and repaired.

Fire sprinkler systems are recommended for the Police & Annex and central Fire Station. Fire alarm system upgrades are recommended for the Haskell Hall House, Police & Annex, Linebrook Fire Station, and Highway Garage.

Site

The Town Hall, Fire Stations, Police & Annex and Library have asphalt parking areas and concrete pedestrian pavement. Mill and overlays are needed at both fire stations and the Police & Annex.

The fencing at the Library needs repairs/restoration. The Highway Garage site includes buried fuel storage tanks and vehicle fueling equipment.

Recommended Additional Studies

No additional studies recommended at this time.

Some areas of the facilities were identified as having major or moderate accessibility issues. EMG recommends a study be performed at the Town Hall, Fire Stations, Police & Annex, Haskell Hall House and Highway Garage. to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building's Facility Condition Index (FCI), which provides a theoretical objective indication of a building's overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges & Description

0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or other deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:

Facility (year built)	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Highway Garage (1952)	\$160	9,753	\$1,562,918	2.0%	2.0%	21.5%	64.8%
Highway Salt (1975)	\$104	2,400	\$249,600	1.3%	1.3%	16.7%	33.6%
Ipswich Fire (1890)	\$144	10,285	\$1,478,983	0.6%	3.0%	9.0%	14.8%
Ipswich Haskell House (1819)	\$153	3,067	\$468,791	14.3%	17.1%	21.3%	25.7%
Library (1869)	\$142	13,736	\$1,953,259	0.3%	1.9%	18.3%	57.8%
Linebrook Fire Station (1985)	\$144	5,000	\$719,000	4.9%	11.9%	17.0%	24.6%
Police & Annex (1900)	\$200	9,097	\$1,815,761	0.5%	7.3%	8.6%	12.6%
Town Hall (1936)	\$143	53,006	\$7,587,809	0.9%	1.5%	11.1%	28.0%

Immediate Needs

Facility/Building	Total Items	Total Cost
Highway Garage	2	\$31,035
Highway Salt	2	\$3,297
Ipswich Fire	1	\$8,355
Ipswich Haskell House	5	\$67,058
Library	2	\$5,971
Linebrook Fire Station	6	\$35,106
Police & Annex	2	\$8,787
Town Hall	6	\$71,539
Total	26	\$231,149

Highway Garage

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1154162	Highway Garage	Throughout building	D5037	Fire Alarm System, Multi-Family, Upgrade/Install	Poor	Safety	\$23,794
1154155	Highway Garage	Mezzanine	P000X	Engineer, Structural, General, Design	NA	Safety	\$7,241
Total (2 items)							\$31,035

Highway Salt

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1154175	Highway Salt	Roof	B101X	Structural Frame, Wood Conventional Stud	Poor	Performance/Integrity	\$2,016
1154173	Highway Salt	Building Exterior	B2011	Exterior Wall, Textured Plywood (T1-11), Repair	Poor	Performance/Integrity	\$1,281
Total (2 items)							\$3,297

Ipswich Fire

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1157152	Ipswich Fire	Throughout	Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$8,355
Total (1 items)							\$8,355

Ipswich Haskell House

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1152551	Ipswich Haskell House	Building Exterior	B2011	Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	Poor	Performance/Integrity	\$8,187
1152547	Ipswich Haskell House	Building Exterior	B2011	Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Repair	Poor	Performance/Integrity	\$4,482
1152559	Ipswich Haskell House	Building Exterior	B2021	Window, 12 SF, Restore	Poor	Performance/Integrity	\$44,449
1152556	Ipswich Haskell House	Building Exterior	B2032	Exterior Door, Wood Solid-Core, Replace	Poor	Performance/Integrity	\$1,585
1157153	Ipswich Haskell House		Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$8,355
Total (5 items)							\$67,058

Library

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1153259	Library	Site	B1015	Exterior Stairs, Metal, Refinish	Poor	Performance/Integrity	\$401
1153308	Library	Throughout building	P000X	Engineer, HVAC System, Controls Re-Balance, Evaluate/Report	Poor	Performance/Integrity	\$5,570
Total (2 items)							\$5,971

Linebrook Fire Station

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1153090	Linebrook Fire Station	Building Exterior	B2011	Exterior Wall, Concrete Block (CMU), 1-2 Stories, Repair	Poor	Performance/Integrity	\$2,929
1153089	Linebrook Fire Station	Mechanical room	D3041	HVAC System Ductwork, Sheet Metal, Replace	NA	Safety	\$1,671
1153091	Linebrook Fire Station	Throughout building	D5037	Fire Alarm System, Office Building, Upgrade/Install	Poor	Performance/Integrity	\$13,145
1153076	Linebrook Fire Station	Equipment Bay	D5037	Fire Alarm Control Panel, Multiplex, Replace	Poor	Performance/Integrity	\$4,773
1174972	Linebrook Fire Station	Site	G2022	Parking Lots, Asphalt Pavement, Seal & Stripe	Poor	Performance/Integrity	\$4,233
1157154	Linebrook Fire Station		Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$8,355
Total (6 items)							\$35,106

Police & Annex

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1153164	Police & Annex	Site	B1015	Exterior Stairs, Concrete, Repair	Poor	Performance/Integrity	\$432
1157157	Police & Annex		Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$8,355
Total (2 items)							\$8,787

Town Hall

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1152061	Town Hall	Site	B1015	Exterior Stairs, Concrete, Repair	Poor	Performance/Integrity	\$2,593
1152057	Town Hall	Gymnasium	D1013	Wheelchair Lift, Renovate	Failed	Performance/Integrity	\$18,551
1152025	Town Hall	Electrical room	D5037	Fire Alarm Control Panel, Addressable, Replace	Poor	Performance/Integrity	\$22,612
1152088	Town Hall	Site	G2022	Parking Lots, Asphalt Pavement, Cut & Patch	Poor	Performance/Integrity	\$8,288
1152011	Town Hall	Elevator	Z102X	ADA, Elevator/Lift, Emergency Communication System, Cab, Renovate	NA	Accessibility	\$11,140
1157158	Town Hall		Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$8,355
Total (6 items)							\$71,539

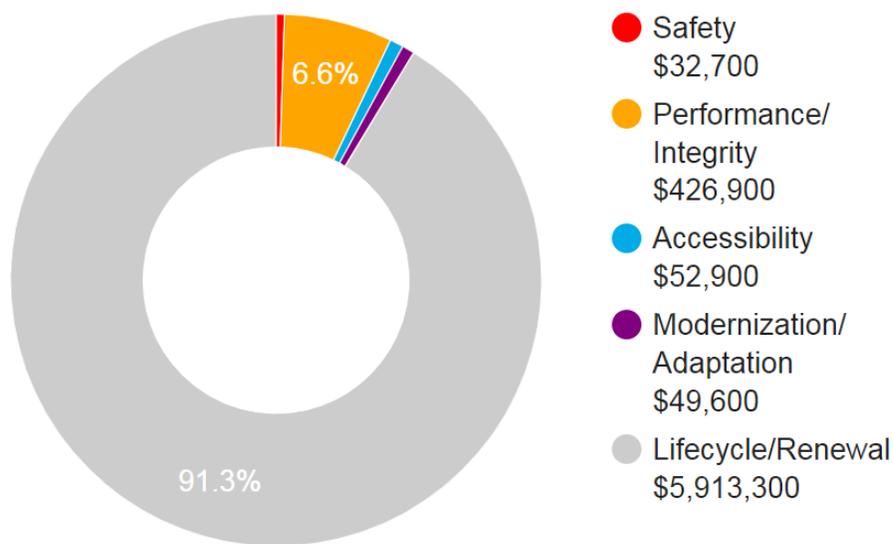
Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

Plan Type Descriptions

Safety	■ An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■ Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■ Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
Environmental	■ Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■ Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Lifecycle/Renewal	■ Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.

Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$6,475,400

2. Town Hall



Town Hall: Systems Summary

Address	25 Green Street; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1936/2001	
Building Size	53,006 SF	
Number of Stories	3	
Site Area	9.9 acres (estimated)	
Parking Spaces	62 total spaces all in open lots; 3 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel and concrete frame with concrete decks	Good
Façade	Brick with aluminum, wood, and vinyl windows	Fair
Roof	Primary: Flat construction with single-ply EPDM membrane	Fair

Town Hall: Systems Summary		
Interiors	Walls: Painted gypsum board/plaster, quarry tile Floors: Carpet, VCT, ceramic tile, terrazzo Ceilings: Painted gypsum board/plaster, ACT	Fair
Elevators	Hydraulic: One car serving all 3 floors One Wheelchair lift	Fair
Plumbing	Copper supply and cast iron waste & venting Gas water heater	Fair
HVAC	Central heating system with boilers, air handlers, hydronic baseboard radiators and cabinets Individual package and split-system units for cooling Supplemental components: ductless split-systems, exhaust fans	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main switchboard Interior Lighting: T-8, LED, CFL Emergency: Diesel generator	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage, building and site lights	Fair
Landscaping & Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair

Town Hall: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED and CFL	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Aged fire panel and alarm components. Spot pointing and sealant replacement at brickwork needed. Asphalt patching needed. Concrete repairs needed at entrance ramp. The wheelchair lift is not functional.	

Town Hall: Systems Expenditure Forecast

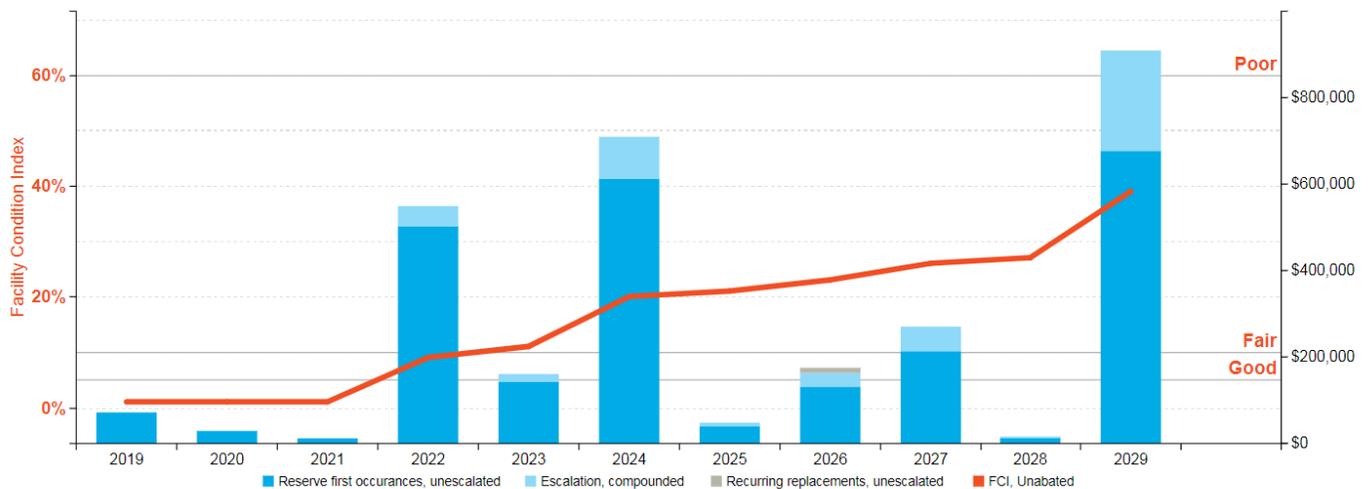
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$2,600	-	-	\$700	\$900	\$4,200
Facade	-	\$69,500	\$51,100	\$16,600	\$178,300	\$315,600
Roofing	-	\$226,000	-	-	-	\$226,000
Interiors	-	-	\$611,100	\$47,700	\$1,822,500	\$2,481,300
Elevators	\$18,600	\$14,100	\$186,600	-	-	\$219,200
Plumbing	-	-	-	\$43,500	\$35,100	\$78,600
Fire Suppression	-	\$7,300	-	\$105,500	-	\$112,800
HVAC	-	\$59,000	\$19,800	\$73,300	\$2,607,700	\$2,759,900
Electrical	-	-	-	\$963,700	\$60,000	\$1,023,700
Fire Alarm & Comm	\$22,600	\$202,000	-	-	\$35,200	\$259,800
Site Development	-	-	-	-	\$2,800	\$2,800
Pavement	\$8,300	\$12,200	-	\$164,600	\$106,100	\$291,200
Site Lighting	-	-	-	-	\$85,300	\$85,300
Accessibility	\$19,500	-	-	-	-	\$19,500
TOTALS	\$71,600	\$590,100	\$868,600	\$1,415,600	\$4,933,900	\$7,879,900

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Town Hall

Replacement Value: \$ 7,587,809; Inflation rate: 3.0%



3. Central Fire Station (Ipswich Fire)



Central Fire Station: Systems Summary

Address	65 Central Street; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1890/1998	
Building Size	10,285 SF	
Number of Stories	Two	
Site Area	8.8 acres (reported)	
Parking Spaces	12 total spaces all in open lots; None of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry foundation and bearing walls and wood-framed upper floor and roof	Fair
Façade	Brick with aluminum, wood, and vinyl windows	Good
Roof	Primary: Hip construction with asphalt shingles Secondary: Gable construction with metal finish	Fair

Central Fire Station: Systems Summary		
Interiors	Walls: Painted gypsum board & Wood Floors: Carpet, VCT, ceramic tile, wood strip Ceilings: Painted gypsum board/plaster/wood, ACT	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Electric water heater	Fair
HVAC	Central system with boiler, hydronic baseboard radiators and cabinets Supplemental components: ductless split-systems, suspended gas unit heaters vehicle exhaust fan unit	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main switchboard Interior Lighting: T-8 Emergency: Natural gas generator	Fair
Fire Alarm	Back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots	Fair
Site Development	Building-mounted signage, wood fencing	Fair
Landscaping & Topography	No significant landscaping features Irrigation not present Low site slopes throughout	Fair

Central Fire Station: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Building-mounted: LED	Good
Ancillary Structures	None	--
Accessibility	Potential moderate/major issues have been identified at this property and a detailed accessibility study is recommended. See Appendix C.	
Key Issues & Findings	Needs fire alarm system. Paving needs mill/overlay. Dispatch flooring needs replacement.	

Central Fire Station: Systems Expenditure Forecast

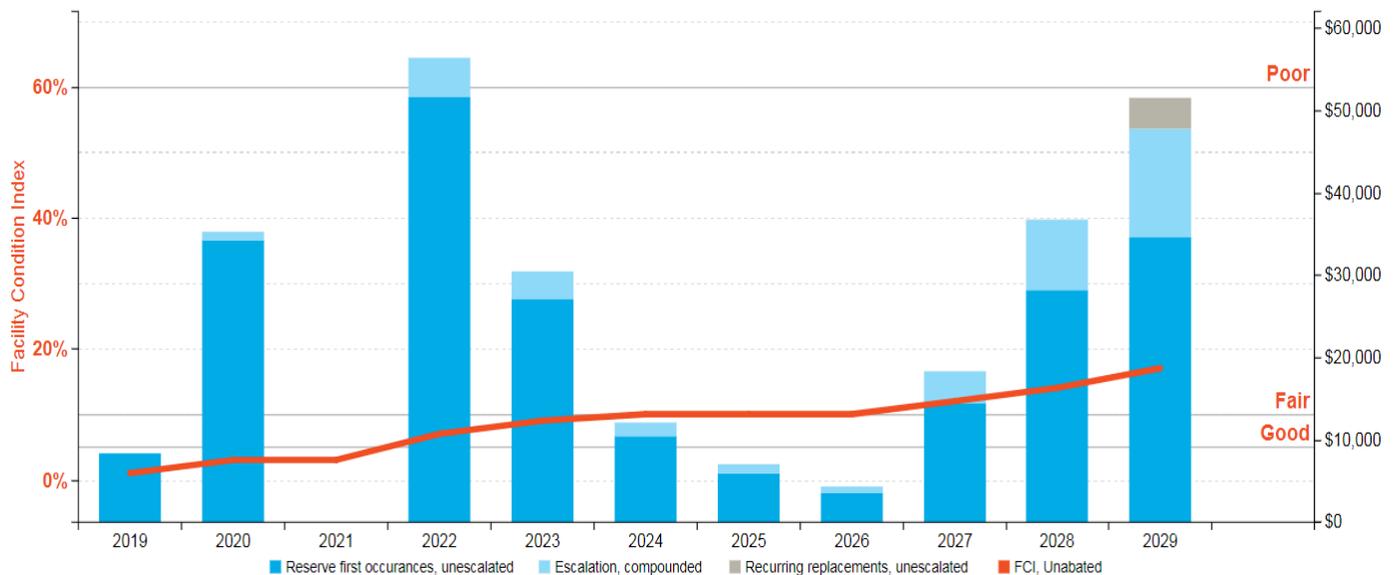
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	-	-	-	-	-
Facade	-	\$1,800	-	\$7,700	\$203,900	\$213,400
Roofing	-	-	-	-	-	-
Interiors	-	\$43,500	-	\$48,900	\$126,200	\$218,700
Plumbing	-	\$5,200	\$4,300	-	\$52,800	\$62,300
HVAC	-	-	\$3,400	\$33,200	\$71,100	\$107,700
Electrical	-	-	-	-	\$650,000	\$650,000
Fire Alarm & Comm	-	-	\$30,400	-	-	\$30,400
Equipment/Special	-	\$7,700	-	\$19,400	\$14,000	\$41,100
Pavement	-	\$33,300	\$4,300	\$5,000	\$17,600	\$60,300
Site Development	-	-	-	\$3,600	-	\$3,600
Accessibility	\$8,400	-	-	-	-	\$8,400
TOTALS	\$8,400	\$91,500	\$42,400	\$117,800	\$1,135,600	\$1,395,900

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Ipswich Fire

Replacement Value: \$ 1,478,983; Inflation rate: 3.0%



4. Police & Annex



Police & Annex: Systems Summary

Address	15 Elm Street; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1900	
Building Size	7,254 SF	
Number of Stories	One	
Site Area	0.071 acres (estimated)	
Parking Spaces	9 total spaces all in open lots; None of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Concrete foundation wall, Masonry bearing walls, Concrete floor and wood-framed roofs	Good
Façade	Brick with aluminum windows	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane	Good

Police & Annex: Systems Summary		
Interiors	Walls: Painted gypsum board/plaster Floors: Carpet, VCT Ceilings: Painted gypsum board, ACT	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Electric water heater	Fair
HVAC	Central system with electric resistance units Supplemental components: ductless split-systems, suspended electric unit heaters	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main switchboard Interior Lighting: T-8 Emergency: Diesel generator	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with concrete ramp, and stairs	Poor
Site Development	Building-mounted signage	Fair
Landscaping & Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair

Police & Annex: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric	Fair
Site Lighting	Building-mounted: LED	Good
Ancillary Structures	None	--
Accessibility	Potential moderate/major issues have been identified at this property and a detailed accessibility study is recommended. See Appendix C.	
Key Issues & Findings	Exterior wall patching is needed. The older windows and exterior doors need replacement. Much of the vinyl tile flooring needs replacement. The site paving needs mill/overlay. The emergency generator is undersized and scheduled to be replaced.	

Police & Annex: Systems Expenditure Forecast

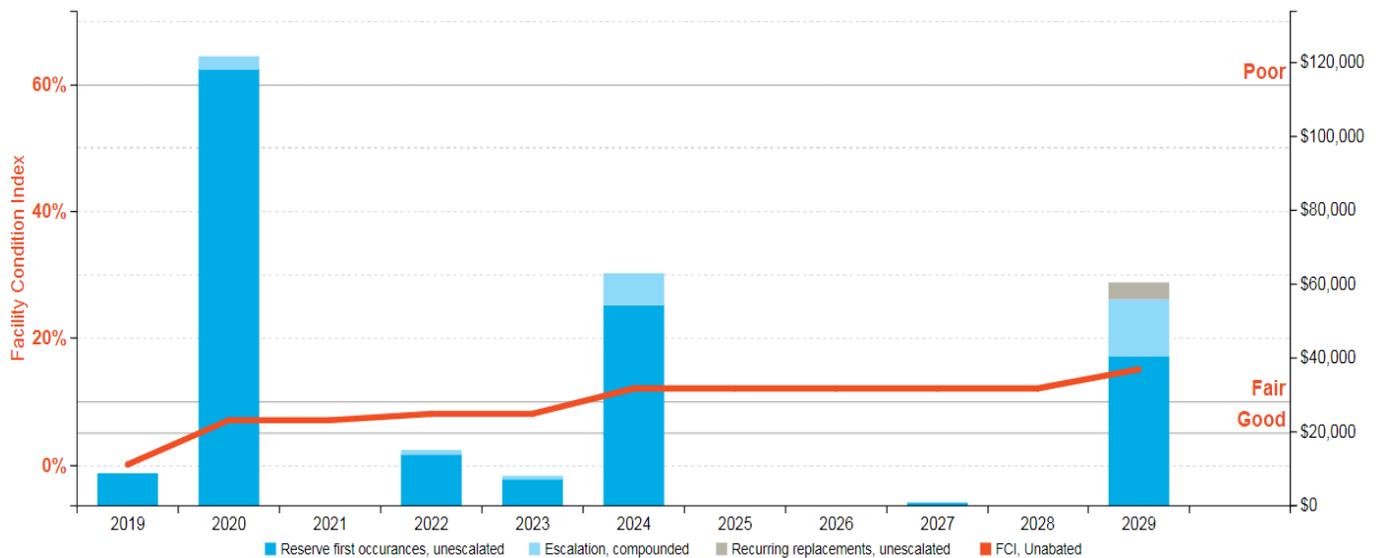
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$400	-	-	\$2,600	-	\$3,100
Facade	-	\$41,600	-	\$5,300	\$48,000	\$94,900
Roofing	-	-	-	-	\$28,800	\$28,800
Interiors	-	\$2,800	\$42,000	\$21,500	\$139,600	\$205,700
Plumbing	-	\$3,600	-	\$13,100	\$30,700	\$47,300
HVAC	-	-	\$23,600	\$12,800	\$59,400	\$95,800
Electrical	-	-	-	-	\$180,300	\$180,300
Fire Alarm & Comm	-	\$47,900	-	-	\$36,300	\$84,200
Pavement	-	\$40,600	\$5,300	\$6,100	\$15,400	\$67,500
Accessibility	\$8,400	-	-	-	-	\$8,400
TOTALS	\$8,800	\$136,500	\$70,900	\$61,400	\$538,500	\$816,000

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Police & Annex

Replacement Value: \$ 1,815,761; Inflation rate: 3.0%



5. Haskell House



Haskell House: Systems Summary

Address	36 South Main Street; Ipswich, Massachusetts 01938
Constructed/ Renovated	1819
Building Size	3,067 SF
Number of Stories	Two
Site Area	0.6 acres (estimated)
Parking Spaces	No spaces

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on stone foundation with raised floor	Fair
Façade	Painted wood with wood windows	Poor
Roof	Primary: Gable construction with asphalt shingles	Fair

Haskell House: Systems Summary		
Interiors	Walls: Painted Plaster/gypsum board Floors: Painted and Natural Wood, Rubber tile Ceilings: Painted Plaster/gypsum board, Unfinished	Fair
Elevators	None	--
Plumbing	Copper supply and PVC waste & venting Electric water heater	Good
HVAC	Central system with boiler feeding hydronic baseboard radiators	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: None	Good
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Masonry Paver Patio	Fair
Site Development	Building-mounted signage	Fair
Landscaping & Topography	Limited landscaping features Irrigation not present Low site slopes throughout	Good

Haskell House: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Building-mounted: LED	Good
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Foundation maintenance is needed along with the addition of permanent support columns to replace the temporary types in the basement. The attic windows need repair/restoration. Exterior siding and trim repairs are needed along with replacement of the front door. The exterior needs to be painted. A fire alarm system is recommended.	

Haskell House: Systems Expenditure Forecast

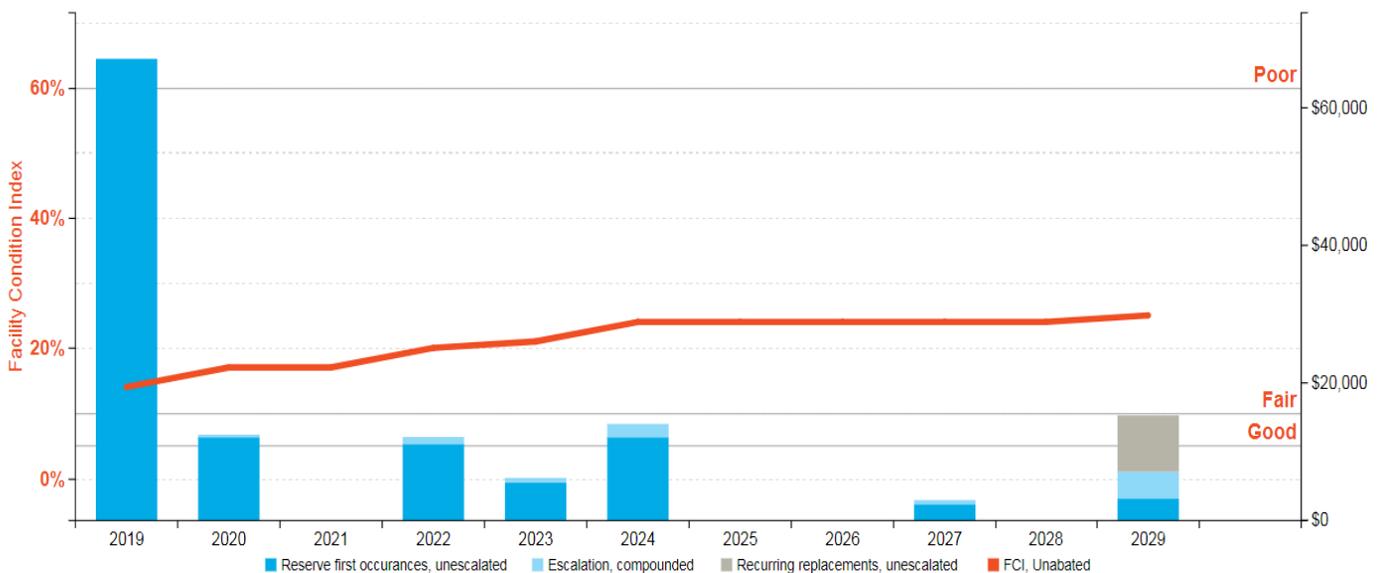
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$16,300	-	-	-	\$16,300
Facade	\$58,700	-	-	\$15,300	\$14,800	\$88,700
Roofing	-	-	-	-	\$13,400	\$13,400
Interiors	-	-	\$20,200	\$1,200	\$76,700	\$98,100
Plumbing	-	-	-	\$1,800	\$3,100	\$4,900
HVAC	-	-	-	-	\$19,900	\$19,900
Electrical	-	-	-	-	\$10,200	\$10,200
Fire Alarm & Comm	-	\$8,300	-	-	-	\$8,300
Pavement	-	-	-	-	\$68,600	\$68,600
Accessibility	\$8,400	-	-	-	-	\$8,400
TOTALS	\$67,100	\$24,600	\$20,200	\$18,300	\$206,700	\$336,800

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Ipswich Haskell House

Replacement Value: \$ 468,791; Inflation rate: 3.0%



6. Linebrook Fire Station



Linebrook Fire Station: Systems Summary

Address	216 Linebrook Road; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1985	
Building Size	5,000 SF	
Number of Stories	Two	
Site Area	0.596 acres (estimated)	
Parking Spaces	No marked spaces	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed upper floor and roof	Good
Façade	Brick with vinyl windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Fair

Linebrook Fire Station: Systems Summary		
Interiors	Walls: Painted gypsum board & CMU Floors: Carpet, VCT, Unfinished Ceilings: ACT	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Electric water heater	Fair
HVAC	Central system with oil fired furnace Supplemental components: electric baseboard, vehicle exhaust fan	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, T-12 Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, pull stations, back-up emergency lights, and exit signs	Poor
Equipment/Special	None	--
Site Pavement	Asphalt lots	Poor
Site Development	Building-mounted signage	Fair
Landscaping & Topography	No significant Irrigation not present Low site slopes throughout	Fair

Linebrook Fire Station: Systems Summary		
Utilities	Municipal water and on-site septic system Local utility-provided electric	Fair
Site Lighting	Building-mounted: LED, incandescent	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Interior flooring is worn. T-12 lighting needs to be replaced. Repairs to the furnace installation are needed. The site pavement needs a mill/overlay.	

Linebrook Fire Station: Systems Expenditure Forecast

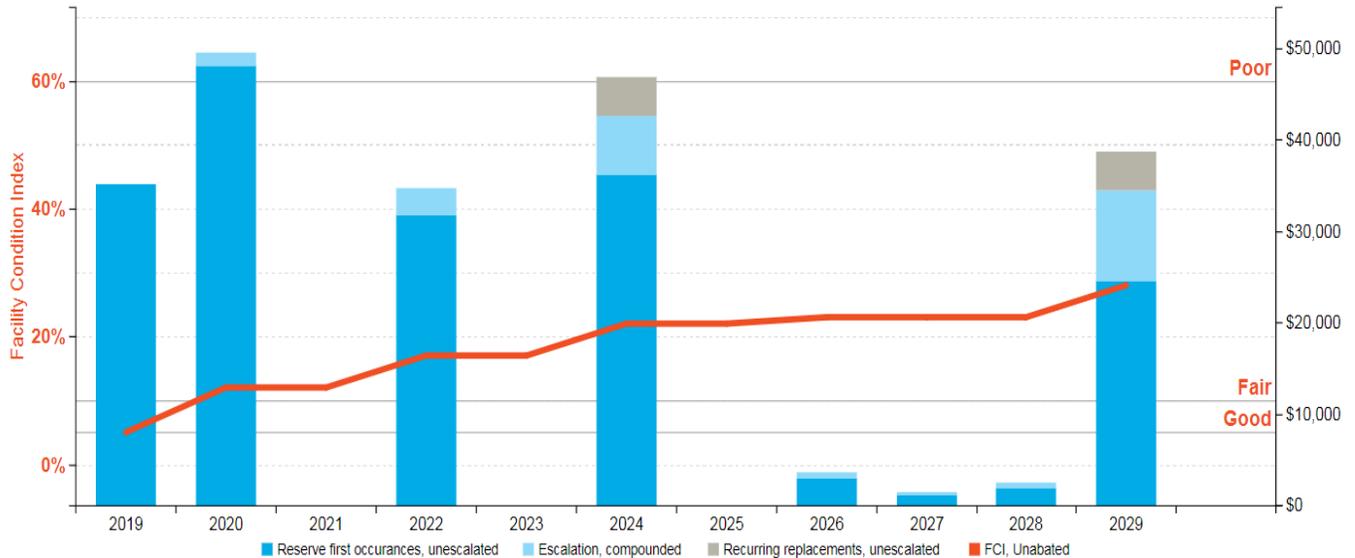
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$2,900	\$33,000	\$6,100	-	\$47,200	\$89,300
Roofing	-	-	-	\$20,500	-	\$20,500
Interiors	-	\$21,500	\$13,400	-	\$52,600	\$87,400
Plumbing	-	-	\$2,600	\$16,500	\$24,100	\$43,200
HVAC	\$1,700	-	\$4,300	\$3,600	\$17,000	\$26,600
Electrical	-	\$10,900	\$11,500	-	\$284,600	\$306,900
Fire Alarm & Comm	\$17,900	-	-	-	\$31,200	\$49,100
Equipment/Special	-	-	\$4,100	-	\$6,400	\$10,400
Pavement	\$4,200	\$18,800	\$4,900	\$5,700	\$47,200	\$80,900
Accessibility	\$8,400	-	-	-	-	\$8,400
TOTALS	\$35,100	\$84,200	\$46,900	\$46,300	\$510,300	\$722,700

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Linebrook Fire Station

Replacement Value: \$ 719,000; Inflation rate: 3.0%



7. Library



Library: Systems Summary

Address	25 North Main Street; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1869	
Building Size	13,736 SF	
Number of Stories	Three	
Site Area	0.497 acres (estimated)	
Parking Spaces	Nine total spaces all in open lots; One of which is accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab/ with raised floor Masonry bearing walls and steel frame with concrete topped, and wood floors and roof decks.	Good
Façade	Brick with aluminum and wood windows	Fair
Roof	Primary: Gable construction with slate and asphalt shingle covering Secondary: Flat construction with single-ply EPDM membrane	Fair

Library: Systems Summary		
Interiors	Walls: Painted gypsum board/Plaster Floors: Carpet, VCT, quarry tile, Rubber tile Ceilings: Painted gypsum board/plaster, ACT	Fair
Elevators	Hydraulic: One car serving all three floors	Fair
Plumbing	Copper supply and cast iron waste & venting Electric water heater	Fair
HVAC	Partial Central system with boilers, a chiller, air handlers, fan coil and hydronic terminal units Individual package heat pumps Supplemental components: ductless split-systems	Fair
Fire Suppression	Wet-pipe sprinkler system, fire extinguishers	Fair
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: T-8, LED Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with concrete and brick sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage, cast iron and steel fencing	Fair
Landscaping & Topography	Moderate landscaping features Irrigation not present CMU retaining walls Severe site slope	Good

Library: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Building-mounted: LED, incandescent Pedestrian walkway lighting	Good
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Fencing repairs are needed. The exterior doors to the flat roofs need to be replaced. A rebalancing of the HVAC system is needed to address performance issues. Interior ceiling patching is needed.	

Library: Systems Expenditure Forecast

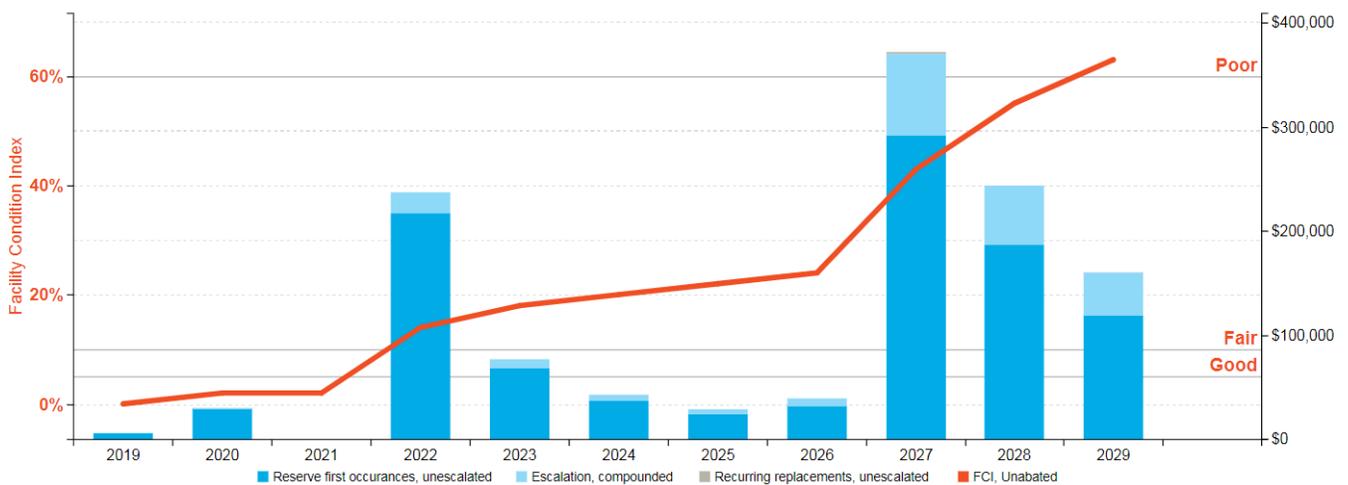
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$400	-	-	\$500	\$29,300	\$30,200
Facade	-	\$50,000	-	\$22,600	\$140,100	\$212,700
Roofing	-	\$10,500	\$15,200	\$21,500	\$434,300	\$481,500
Interiors	-	\$35,700	\$36,000	\$164,500	\$217,900	\$454,000
Elevators	-	\$14,100	-	\$210,000	-	\$224,100
Plumbing	-	-	\$4,300	\$9,500	\$113,100	\$127,000
Fire Suppression	-	\$7,300	-	\$27,400	-	\$34,700
HVAC	-	\$122,700	\$61,800	\$39,400	\$176,600	\$400,600
Electrical	-	\$9,500	\$2,600	\$297,700	\$795,500	\$1,105,300
Fire Alarm & Comm	-	-	-	\$30,400	\$74,600	\$105,000
Site Development	-	\$14,000	-	-	\$51,400	\$65,400
Pavement	-	\$1,800	-	\$21,200	\$106,400	\$129,400
Site Lighting	-	\$1,800	-	-	-	\$1,800
Follow-up Studies	\$5,600	-	-	-	-	\$5,600
TOTALS	\$6,000	\$267,400	\$119,900	\$844,700	\$2,139,200	\$3,377,300

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Library

Replacement Value: \$ 1,953,259; Inflation rate: 3.0%



8. Highway Garage



Highway Garage: Systems Summary

Address	100 County Road; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1950	
Building Size	9,753 SF	
Number of Stories	One	
Site Area	7.8 acres (estimated)	
Parking Spaces	No marked spaces	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and steel framed/decked roof	Fair
Façade	EIFS and painted CMU with steel and vinyl windows	Fair
Roof	Primary: Flat construction with single-ply EPDM membrane	Fair

Highway Garage: Systems Summary		
Interiors	Walls: Painted gypsum board & unfinished and painted CMU Floors: Unfinished Ceilings: Unfinished, ACT	Fair
Elevators	None	--
Plumbing	Copper supply and cast iron waste & venting Gas water heater	Fair
HVAC	Supplemental components: ductless split-systems, suspended gas unit heaters	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, LED Emergency: Natural Gas fired	Fair
Fire Alarm	Alarm panel, smoke/heat detectors, alarms, back-up emergency lights, and exit signs	Poor
Equipment/Special	Vehicle fuel pumps and buried tanks	Fair
Site Pavement	Asphalt lots	Fair
Site Development	Property entrance signage	Fair
Landscaping & Topography	No significant landscaping features Irrigation not present Low site slopes throughout	Fair

Highway Garage: Systems Summary		
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED, Metal Halide Building-mounted: LED	Fair
Ancillary Structures	Open storage shed	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Exterior refinishing is needed. The mezzanine needs to be reviewed and load rated by a structural engineer.	

Highway Garage: Systems Expenditure Forecast

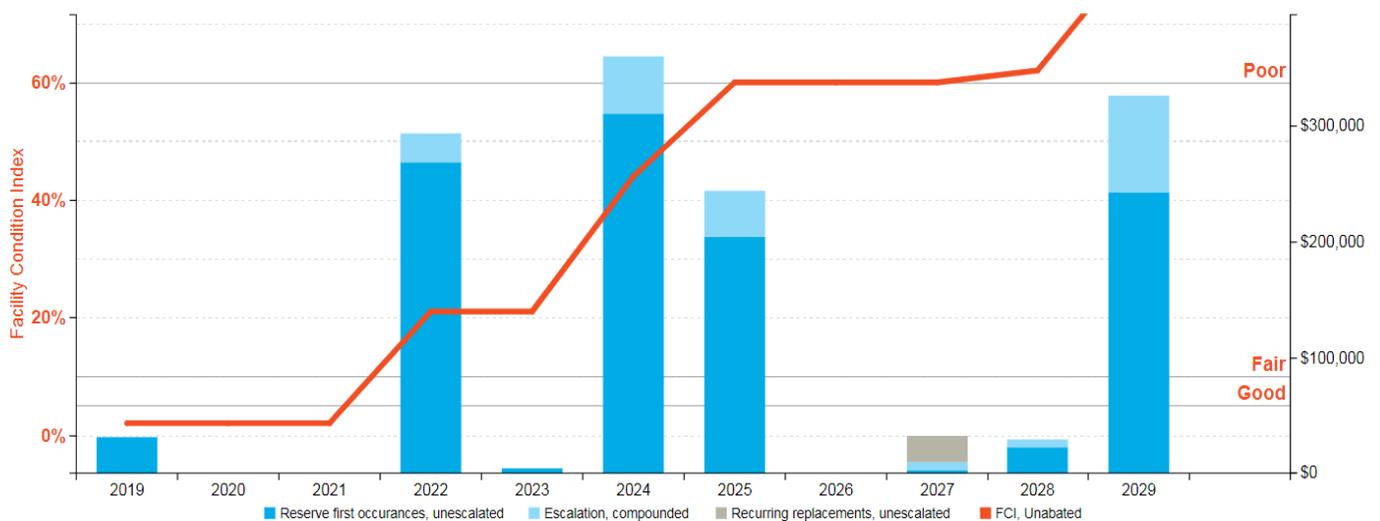
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$174,300	-	\$12,800	\$32,600	\$219,700
Roofing	-	-	-	\$118,100	\$23,200	\$141,400
Interiors	-	\$2,600	-	\$11,800	\$7,600	\$22,000
Plumbing	-	\$4,100	\$6,900	-	\$7,700	\$18,800
HVAC	-	-	\$4,500	\$29,100	\$159,700	\$193,200
Electrical	-	\$87,600	-	\$191,000	\$497,500	\$776,000
Fire Alarm & Comm	\$23,800	-	-	-	\$43,000	\$66,800
Equipment/Special	-	-	-	\$4,100	-	\$4,100
Site Development	-	-	\$323,300	-	-	\$323,300
Pavement	-	\$25,000	-	\$264,600	\$115,400	\$404,900
Site Lighting	-	-	\$29,900	-	-	\$29,900
Follow-up Studies	\$7,200	-	-	-	-	\$7,200
TOTALS	\$31,000	\$293,600	\$364,600	\$631,500	\$886,700	\$2,207,300

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Highway Garage

Replacement Value: \$ 1,562,918; Inflation rate: 3.0%



9. Highway Salt



Highway Salt: Systems Summary

Address	100 County Road; Ipswich, Massachusetts 01938	
Constructed/ Renovated	1975	
Building Size	2,400 SF	
Number of Stories	One	
Site Area	Shared with Highway Garage	
Parking Spaces	No marked spaces	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Timber frame pole barn	Fair
Façade	Plywood siding	Fair
Roof	Primary: Gable construction with metal finish	Fair

Highway Salt: Systems Summary		
Interiors	Walls: Unfinished Floors: Soil Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	None	--
HVAC	None	--
Fire Suppression	None	--
Electrical	None	--
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt lot shared with Highway Garage	--
Site Development	None	--
Landscaping & Topography	No significant landscaping features Low site slopes	Good

Highway Salt: Systems Summary		
Utilities	None	--
Site Lighting	Pole-mounted: LED, metal halide	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property. See Appendix C.	
Key Issues & Findings	Structural repairs are needed to some of the roof trusses. Exterior siding repairs are needed.	

Highway Salt: Systems Expenditure Forecast

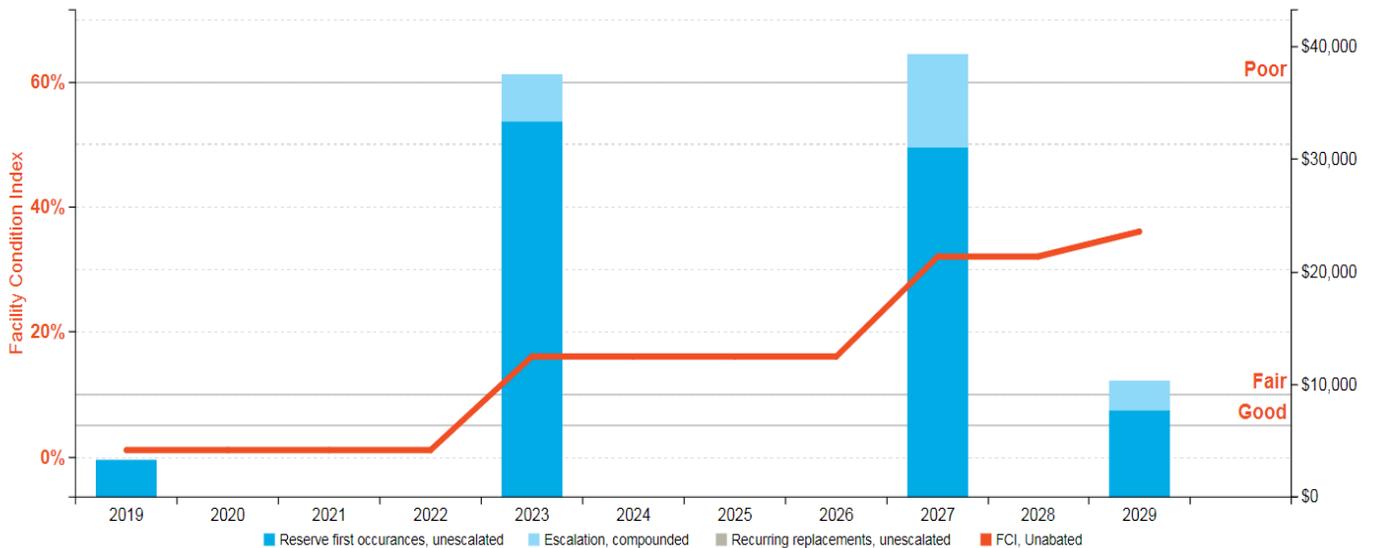
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$2,000	-	-	-	\$73,200	\$75,200
Facade	\$1,300	-	-	\$49,600	\$13,900	\$64,700
Roofing	-	-	\$37,500	-	-	\$37,500
TOTALS	\$3,300	-	\$37,500	\$49,600	\$87,100	\$177,400

The graph below indicates the capital expenditure needs of each year (reference left axis). The purple line forecasts what would happen to the FCI over time, assuming zero capital expenditures (reference right axis).

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Highway Salt

Replacement Value: \$ 249,600; Inflation rate: 3.0%



10. Property Space Use & Observed Areas

Unit Allocation

Town Hall: All 53,006 square feet of the property are occupied by Ipswich town offices. The spaces include a senior center. And a community gymnasium.

Central Fire Station: All 10,285 square feet are occupied by the fire department.

Police & Annex: All 9,097 square feet are occupied by the police department.

Haskell Hall House: All 3,067 square feet are used as a visitor's center and art studio space. The basement is used for storage.

Linebrook Fire Station: all 5,000 square feet of the building are occupied by the fire and EMS departments.

Library: All 13,736 square feet are occupied by the town library.

Highway Garage and Salt Barn: All 12,147 square feet are occupied by the highway department.

Areas Observed

Most of the interior spaces were observed in order to gain a clear understanding of the properties overall condition. Other areas accessed included the sites within the property boundaries, the exterior of the properties, and the roofs.

Key Spaces Not Observed

Areas of note that were either inaccessible or not observed for other reasons are listed here:

- Roof of Highway Garage, Lack of ladder or other means of egress

11. ADA Accessibility

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “commercial facilities” on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to barrier removal must be made.

During the FCA, EMG performed a limited high-level accessibility review of the facilities non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG’s undertaking. Only a representative sample of areas was observed, and actual measurements were not taken to verify compliance.

Reportedly, an accessibility study has not been performed at the Town Hall, Police & Annex, The Haskell Hall House, the Fire Stations or the Highway Garage. A comprehensive ADA Compliance Survey will reveal specific aspects of the properties that are not in compliance. Since some areas or categories above were identified as having major or moderate associated issues, EMG recommends such a study be performed to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

Reportedly, a full ADA Compliance Survey has been previously performed at the Library and no significant issues were noted by EMG.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

12. Purpose and Scope

Purpose

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed, or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Definition of Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing “very old” systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as *Exceedingly Aged*. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical *Immediate Repair* window but will not be pushed ‘irresponsibly’ (too far) into the future.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property’s compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property’s overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

13. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of EMG's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

Immediate Repairs

Immediate repairs are opinions of probable costs that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined in the Immediate Repair Cost Estimate.

14. Certification

The Town of Ipswich (the Client) retained EMG to perform this Facility Condition Assessment in connection with its continued operation of the municipal buildings of the Town of Ipswich, Massachusetts, the "Properties". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

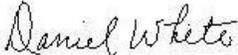
The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of the Client for the purpose stated within the *Purpose and Scope* section of this report. The report, or any excerpt thereof, shall not be used by any party other than the Client or for any other purpose than that specifically stated in our agreement or within the *Purpose and Scope* section of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at the Client and the recipient's sole risk, without liability to EMG.

Prepared by: Ralph Manglass,
Project Manager

Reviewed by: 

Daniel White,
Technical Report Reviewer for
Bill Champion,
Program Manager
bchampion@emgcorp.com
800.733.0660 x6234

15. Appendices

- Appendix A: Photographic Record
- Appendix B: Site Plan
- Appendix C: Accessibility Review
- Appendix D: Pre-Survey Questionnaire
- Appendix E: Supporting Documents
- Appendix F: Replacement Reserves
- Appendix G: Equipment Inventory List

Appendix A: Photographic Record



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	FLATWORK
----	----------



#7	WOOD GUARDRAIL
----	----------------



#8	STRUCTURE- ATTIC
----	------------------



#9	STRUCTURE- TRUCK BAY
----	----------------------



#10	STRUCTURE- BASEMENT
-----	---------------------



#11	STRUCTURE- TIE RODS
-----	---------------------



#12	ASPHALT SHINGLE ROOF
-----	----------------------



#13	METAL ROOF
-----	------------



#14	FACADE
-----	--------



#15	FACADE AND EXTERIOR LIGHTING
-----	------------------------------



#16	HEATING BOILER
-----	----------------



#17	GAS FIRED UNIT HEATER
-----	-----------------------



#18	HEAT PUMP UNIT
-----	----------------



#19	DOMESTIC WATER HEATER
-----	-----------------------



#20	PLUMBING
-----	----------



#21	EMERGENCY GENERATOR
-----	---------------------



#22	MAIN ELECTRICAL DISTRIBUTION PANELS
-----	-------------------------------------



#23	LIGHTING
-----	----------



#24	BASEMENT
-----	----------



#25	TRUCK BAY
-----	-----------



#26	ENGINE BAY
-----	------------



#27	EXERCISE/WORK ROOM
-----	--------------------



#28	DAY ROOM
-----	----------



#29	KITCHEN
-----	---------



#30	RESTROOM
-----	----------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	FLATWORK
----	----------



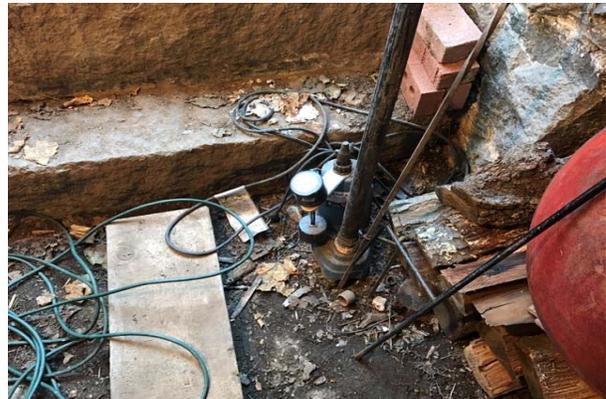
#7 STRUCTURE



#8 STRUCTURE- ATTIC



#9 STRUCTURE- BASEMENT



#10 SUMP PUMP



#11 ASPHALT SHINGLE ROOF



#12 FACADE



#13 HEATING BOILER



#14 DOMESTIC WATER HEATER



#15 PLUMBING FIXTURES



#16 ELECTRICAL PANEL



#17 RECEPTION AREA



#18 STAIRS



#19 UTILITY CCOSET



#20 FIRST FLOOR STUDIO



#21 INTERIOR FINISHES



#22 INTERIOR DOORS AND FINISHES



#23 ATTIC



#24 RESTROOM



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	FLATWORK
----	----------



#7	FLATWORK
----	----------



#8	DIESEL PUMP
----	-------------



#9	STORAGE SHED
----	--------------



#10	STRUCTURE
-----	-----------



#11	MEZZANINE
-----	-----------



#12	FACADE
-----	--------



#13	FACADE
-----	--------



#14	FACADE
-----	--------



#15	FACADE
-----	--------



#16	UNIT HEATER
-----	-------------



#17	WATER HEATER
-----	--------------



#18	MAIN ELECTRICAL DISTRIBUTION
-----	------------------------------



#19	ELECTRICAL DISTRIBUTION
-----	-------------------------



#20	SITE LIGHTING
-----	---------------



#21	FIRE ALARM PANEL
-----	------------------



#22	BREAK ROOM
-----	------------



#23	RIGHT TRUCK BAYS
-----	------------------



#24	MAIN TRUCK BAY
-----	----------------



#25	REAR BAY
-----	----------



#26	RESTROOM
-----	----------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	RIGHT ELEVATION
----	-----------------



#4	REAR ELEVATION
----	----------------



#5	LEFT ELEVATION
----	----------------



#6	DOORS
----	-------



#7	EXTERIOR WALLS
----	----------------



#8	STRUCTURE
----	-----------



#9	ROOF
----	------



#10	INTERIOR
-----	----------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	FLATWORK
----	----------



#7	EXTERIOR STAIRS
----	-----------------



#8	FLATWORK
----	----------



#9	FLATWORK
----	----------



#10	FLATWORK
-----	----------



#11	LANDSCAPING
-----	-------------



#12	FENCING
-----	---------



#13	SLATE ROOFING
-----	---------------



#14	GUTTERS AND DOWNSPOUTS
-----	------------------------



#15	EPDM ROOFING
-----	--------------



#16	ROOFTOP EQUIPMENT AND EIFS WALLS
-----	----------------------------------



#17	ASPHALT SHINGLE ROOFING
-----	-------------------------



#18	STRUCTURE- ATTIC
-----	------------------



#19	FACADE
-----	--------



#20	FACADE
-----	--------



#21	BASEMENT ENTRANCE WITH WOOD SIDING
-----	------------------------------------



#22	GAS BOILERS
-----	-------------



#23	ROOFTOP PACKAGE UNITS
-----	-----------------------



#24	CHILLER
-----	---------



#25	HEAT PUMP UNIT
-----	----------------



#26	HOT WATER RADIATOR
-----	--------------------



#27	DOMESTIC WATER HEATER
-----	-----------------------



#28	PLUMBING FIXTURES
-----	-------------------



#29	MAIN ELECTRICAL DISTRIBUTION PANEL
-----	------------------------------------



#30	INTERIOR LIGHTING
-----	-------------------



#31	ELEVATOR
-----	----------



#32	FIRE SPRINKLER
-----	----------------



#33	FIRE ALARM PANEL
-----	------------------



#34	FIRE ALARM COMPONENTS
-----	-----------------------



#35	REFERENCE AREA
-----	----------------



#36	MAIN ROOM
-----	-----------



#37	SPACES 1
-----	----------



#38	STAIRS
-----	--------



#39	COLLINS MEETING ROOM
-----	----------------------



#40	LOWER LOBBY
-----	-------------



#41	CHILDREN'S LIBRARY
-----	--------------------



#42	NON FICTION STACKS
-----	--------------------



#43	WALLS AND CIELINGS
-----	--------------------



#44	STAFF AREA
-----	------------



#45	MECHANICAL ROOM
-----	-----------------



#46	KITCHEN
-----	---------



#47	ARCHIVE ROOM
-----	--------------



#48	RESTROOM
-----	----------



#49	FICTION STACKS
-----	----------------



#50	GALLERY
-----	---------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	ASPHALT SHINGLE ROOFING
----	-------------------------



#7	FLATWORK
----	----------



#8	FACADE
----	--------



#9	EXTERIOR CHIMNEY
----	------------------



#10	STRUCTURE
-----	-----------



#11	HEATING FURNACEL
-----	------------------



#12	EQUIPMENT BAY VENTILATION UNIT
-----	--------------------------------



#13	DOMESTIC WATER HEATER
-----	-----------------------



#14	MAIN ELECTRICAL DISTRIBUTION PANEL
-----	------------------------------------



#15	EXTERIOR LIGHTING
-----	-------------------



#16	FIRE ALARM PANEL
-----	------------------



#17	MECHANICAL ROOM
-----	-----------------



#18	EQUIPMENT BAY
-----	---------------



#19	EXERCISE ROOM
-----	---------------



#20	DAY ROOM
-----	----------



#21	STAIRS AND BALCONY
-----	--------------------



#22	GENERATOR ROOM
-----	----------------



#23	KITCHEN
-----	---------



#24	RESTROOM
-----	----------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	RAMP
----	------



#7	EXTERIOR STAIRS, CONCRETE, REPAIR
----	-----------------------------------



#8	FRONT STAIRS
----	--------------



#9	FLATWORK
----	----------



#10	STRUCTURE- ATTIC
-----	------------------



#11	STRUCTURE- CRAWLSPACE
-----	-----------------------



#12	ASPHALT SHINGLE ROOF
-----	----------------------



#13	EPDM ROOF
-----	-----------



#14	FACADE
-----	--------



#15	FACADE AT ANNEX
-----	-----------------



#16	EXTERIOR WALL DETAIL
-----	----------------------



#17	ELECTRIC BASEBOARD HEATER
-----	---------------------------



#18	HEAT PUMP UNITS
-----	-----------------



#19	DOMESTIC WATER HEATER
-----	-----------------------



#20	PLUMBING FIXTURES
-----	-------------------



#21	PLUMBING
-----	----------



#22	MAIN ELECTRICAL DISTRIBUTION PANELS
-----	-------------------------------------



#23	FIRE ALARM PANEL
-----	------------------



#24	FIRE ALARM COMPONENTS
-----	-----------------------



#25	ATTIC STORAGE
-----	---------------



#26	ENTRANCE LOBBY
-----	----------------



#27	ELECTRICAL ROOM
-----	-----------------



#28	OFFICE
-----	--------



#29	DISPATCH AREA
-----	---------------



#30	WOMEN'S LOCKER ROOM
-----	---------------------



#31	INTERROGATION ROOM
-----	--------------------



#32	MEN'S LOCKER ROOM
-----	-------------------



#33	HOLDING
-----	---------



#34	CONFERENCE ROOM
-----	-----------------



#35	EXERCISE ROOM
-----	---------------



#36	OFFICERS ROOM
-----	---------------



#1	COVER PHOTO
----	-------------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	RIGHT ELEVATION
----	-----------------



#6	ASPHALT PARKING AREA
----	----------------------



#7	ASPHALT ROADWAY
----	-----------------



#8	CONCRETE WALKWAY
----	------------------



#9	LANDSCAPING
----	-------------



#10	ROOF
-----	------



#11	ROOF PARAPET
-----	--------------



#12	ROOF
-----	------



#13	ROOF
-----	------



#14	FACADE
-----	--------



#15	GAS BOILER
-----	------------



#16	HEATING WATER PUMPS
-----	---------------------



#17	AIR HANDLER
-----	-------------



#18	PACKAGE UNIT
-----	--------------



#19	EXHAUST FAN
-----	-------------



#20	CABINET RADIATOR
-----	------------------



#21	WATER HEATER
-----	--------------



#22	PLUMBING FIXTURES
-----	-------------------



#23	ELECTRICAL DISTRIBUTION
-----	-------------------------



#24	INTERIOR LIGHTING
-----	-------------------



#25	EXTERIOR LIGHTING
-----	-------------------



#26	EMERGENCY GENERATOR
-----	---------------------



#27	ELEVATOR
-----	----------



#28	FIRE SPRINKLER MAIN
-----	---------------------



#29	FIRE ALARM PANEL
-----	------------------



#30	CORRDOR
-----	---------



#31 MAIN LOBBY



#32 STAIRWELL



#33 OFFICE



#34 CONFERENCE ROOM



#35 SELECTBOARD MEETING ROOM



#36 GYMNASIUM



#37	MEETING ROOM
-----	--------------



#38	KITCHEN
-----	---------



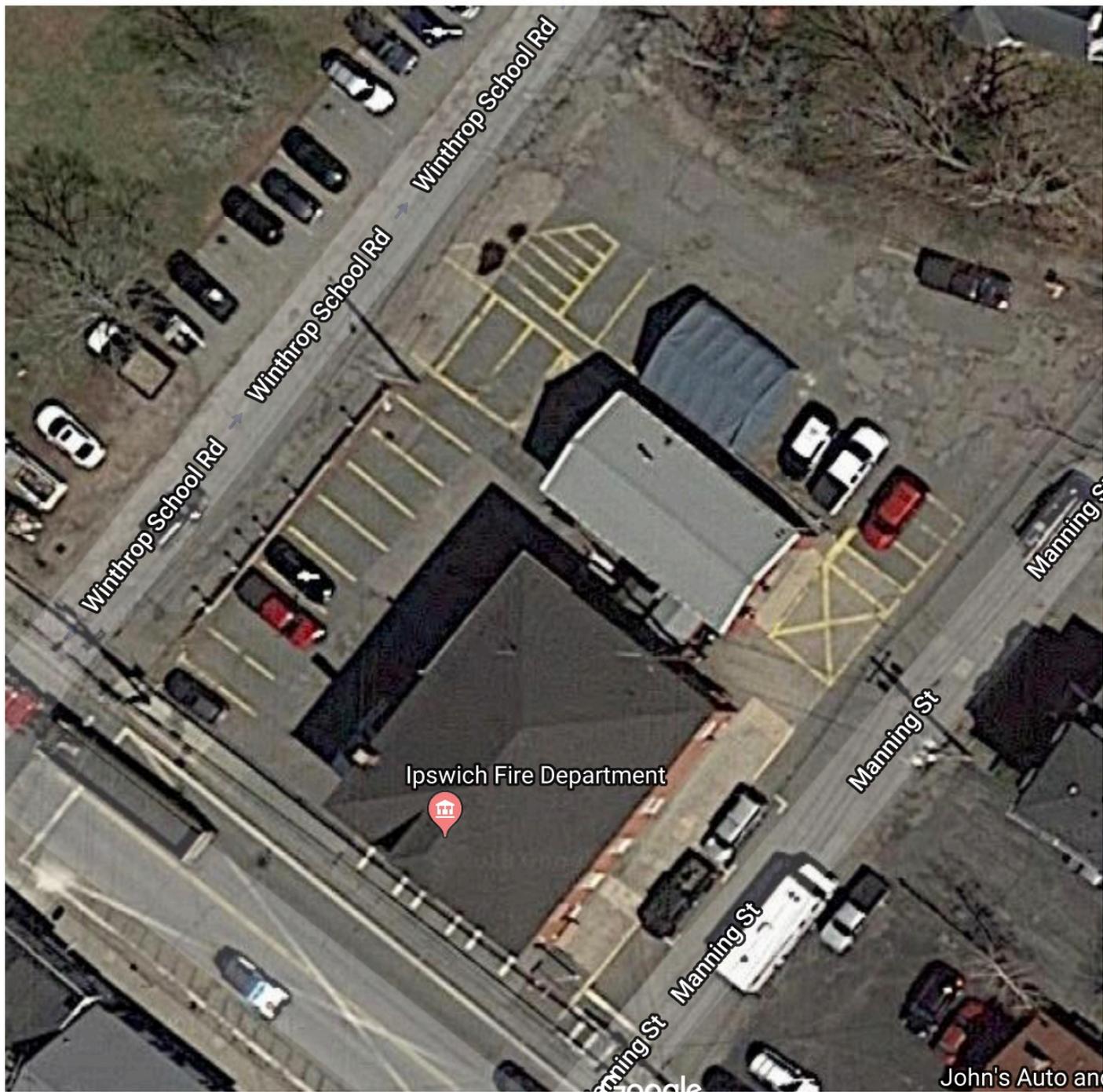
#39	RESTROOM
-----	----------



#40	SENIOR CENTER
-----	---------------

Appendix B: Site Plan

Site Plan



Project Name:

Town of Ipswich / Central Fire Station
(Ipswich Fire)

Source:

Google MyMaps

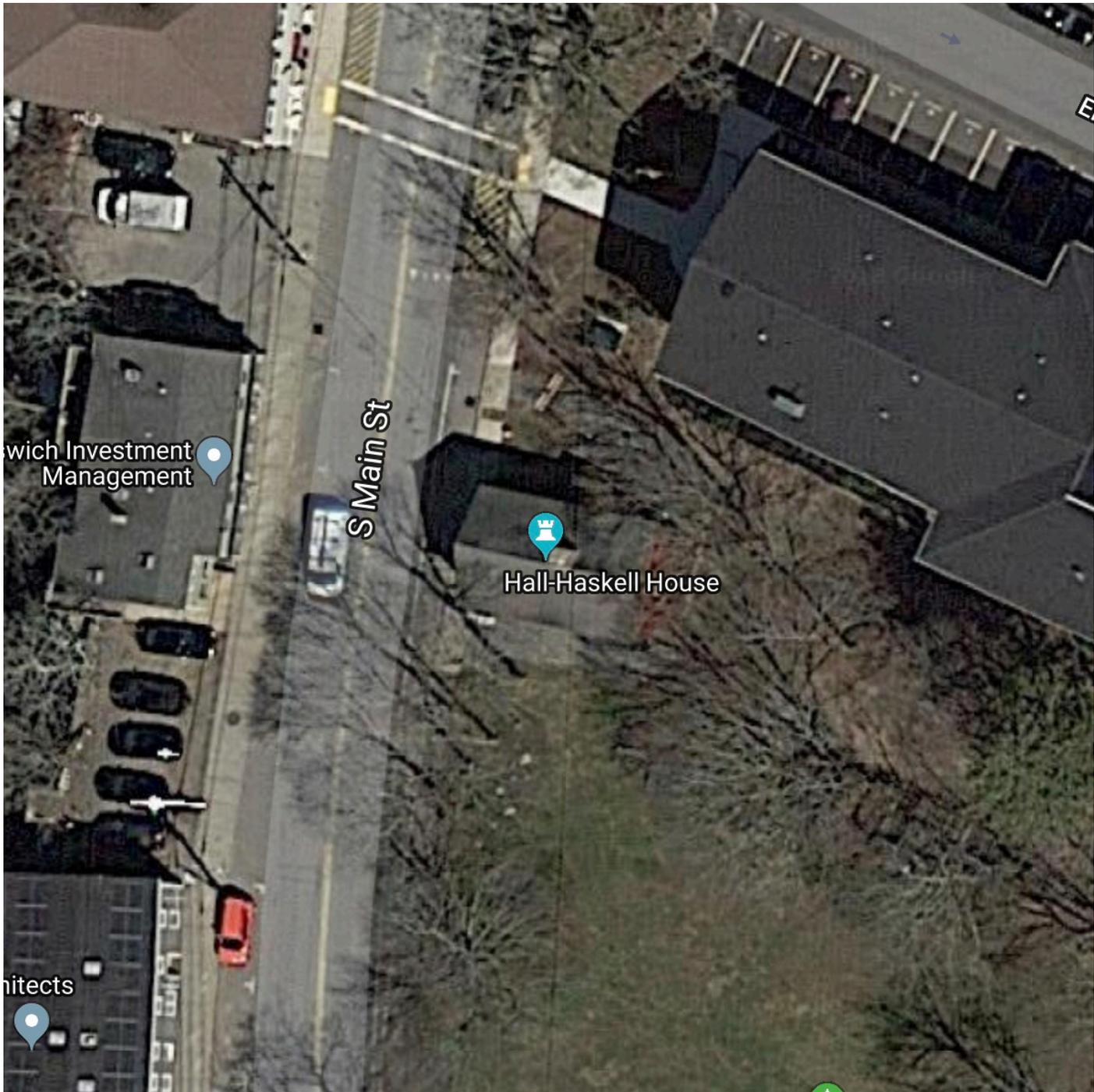
Project Number:

135468.18R000-001.322

On-Site Date:

January 15, 2019

Site Plan



Project Name:

Town of Ipswich / Haskell House

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 11, 2019

Site Plan



Project Name:

Highway Garage

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 15, 2019

Site Plan



Project Name:

Highway Salt

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 15, 2019

Site Plan



Project Name:

Library

Project Number:

135468.18R000-001.322

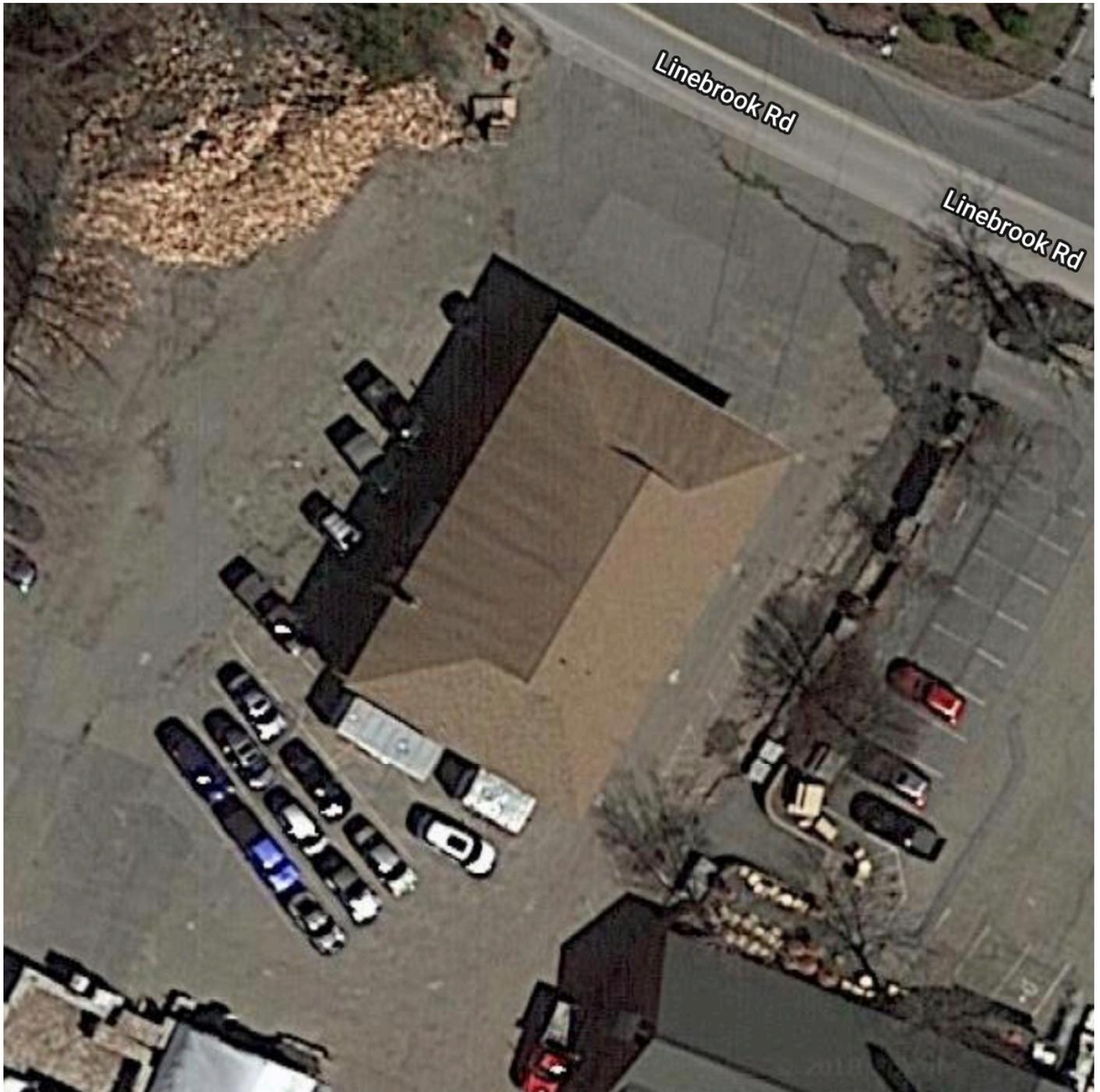
Source:

Google MyMaps

On-Site Date:

January 17, 2019

Site Plan



Project Name:

Linebrook Fire Station

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 18, 2019

Site Plan



Project Name:

Police Department and Annex

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 17, 2019

Site Plan



Project Name:

Town Hall

Project Number:

135468.18R000-001.322

Source:

Google MyMaps

On-Site Date:

January 14, 2019

Appendix C: Accessibility Review

Building 1- Town Hall: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building 2- Fire Department: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Public Use Restrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building 3- Police & Annex: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building 4- Haskell Hall House: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior Accessible Route	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building 5- Linebrook Fire Station: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building 6- Library: Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Buildings 7 & 8- Highway Garage and Salt Barn : Accessibility Issues

	Major Issues <i>(ADA study recommended)</i>	Moderate Issues <i>(ADA study recommended)</i>	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Accessible Route	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Appendix D: Pre-Survey Questionnaire

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Fire Station (Central St.)

Name of person completing form: Bill Hodge

Title / Association with property: _____

Length of time associated w/ property: _____

Date Completed: _____

Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION	RESPONSE				COMMENTS	
	Yes	No	Unk	NA		
7	Are there any problems with foundations or structures, like excessive settlement?	✓				wall fell away partially installed collar ties in attic and replaced damaged
8	Are there any wall, window, basement or roof leaks?		✓			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?	✓				REMEDIATED
10	Are your elevators unreliable, with frequent service calls?				✓	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		✓			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		✓			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		✓			
14	Is the electrical service outdated, undersized, or otherwise problematic?	✓				updates ongoing
15	Are there any problems or inadequacies with exterior lighting?		✓			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		✓			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		✓			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.		✓			
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?		✓			
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		✓			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: HALK HASKELL HOUSE
Name of person completing form: _____
Title / Association with property: _____
Length of time associated w/ property: _____
Date Completed: _____
Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")						
QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?	✓				FY 17 SIL PLATE ROTTED RAISED Bldg replaced plate
8	Are there any wall, window, basement or roof leaks?		✓			plate
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		✓			
10	Are your elevators unreliable, with frequent service calls?		✓		✓	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		✓			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		✓			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		✓			
14	Is the electrical service outdated, undersized, or otherwise problematic?		✓			
15	Are there any problems or inadequacies with exterior lighting?		✓			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		✓			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		✓			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.		✓			
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?		✓			
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		✓			

Portion of 2nd Floor ROTTED

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Town LIBRARY
Name of person completing form: Bill Hodge
Title / Association with property: _____
Length of time associated w/ property: _____
Date Completed: _____
Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	NONE		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION	RESPONSE				COMMENTS
	Yes	No	Unk	NA	
7		✓			
8	✓				Window leak when gutters get ice dams in winter
9		✓			
10		✓			
11		✓			
12		✓			
13		✓			
14		✓			
15		✓			
16		✓			
17	✓				8 windows in one wing single pane HUD Thermal
18	✓				2004
19	✓				All is well
20		✓			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: LINDBROOK FIRE STATION

Name of person completing form: _____

Title / Association with property: _____

Length of time associated w/ property: _____

Date Completed: _____

Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION	RESPONSE				COMMENTS
	Yes	No	Unk	NA	
7		✓			
8		✓			
9	✓				REMEDIATED
10				✓	
11		✓			
12		✓			
13		✓			
14		✓			
15		✓			
16		✓			
17		✓			
18		✓			
19		✓			
20		✓			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Police Station
Name of person completing form: Bill Hodge
Title / Association with property: _____
Length of time associated w/ property: _____
Date Completed: _____
Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

8

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION	RESPONSE				COMMENTS
	Yes	No	Unk	NA	
7		✓			
8	✓				ongoing truck pointing
9	✓				remediated
10				✓	
11	✓				ongoing upgrades
12		✓			
13		✓			
14	✓				ongoing updates
15		✓			
16		✓			
17		✓			
18		✓			
19		✓			
20		✓			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Ipswich Town Hall

Name of person completing form: Bill Hodge

Title / Association with property: _____

Length of time associated w/ property: _____

Date Completed: _____

Phone Number: _____

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed			
2	Building size in SF			
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	<p>wall course - Bldg needs to be Tuck Pointed. some areas have been addressed.</p>		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		✓			
8	Are there any wall, window, basement or roof leaks?	✓				walls - roof holes were closed in 2000 RENOV
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		✓			
10	Are your elevators unreliable, with frequent service calls?		✓			
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		✓			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		✓			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		✓			
14	Is the electrical service outdated, undersized, or otherwise problematic?		✓			
15	Are there any problems or inadequacies with exterior lighting?		✓			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		✓			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?					2004
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.	✓				2004
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?					ALL IS WELL
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		✓			

Appendix E: Supporting Documents

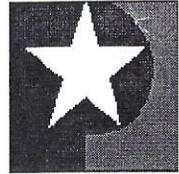
42A Map 250 Block 0 Lot

Fire Station

1 of 2 COMMERCIAL CARD

Town of Ipswich

TOTAL ASSESSED: 4,100,000 14228!



Patriot Properties Inc.

PROPERTY LOCATION

No	Alt No	Direction/Street/City
65		CENTRAL ST, IPSWICH

OWNERSHIP

Owner 1:	TOWN OF IPSWICH
Owner 2:	WINTHROP SCHOOL + FIRE STATION
Owner 3:	
Street 1:	IPSWICH TOWN HALL
Street 2:	
Twn/City:	IPSWICH
St/Prov:	MA Cntry
Postal:	01938 Own Occ: N Type:

PREVIOUS OWNER

Owner 1:	
Owner 2:	
Street 1:	
Twn/City:	
St/Prov:	Cntry
Postal:	

NARRATIVE DESCRIPTION

This Parcel contains 8.8 ACRES of land mainly classified as MUNICPL with a(n) FIRE STAT Building Built about 1890, Having Primarily BRICK Exterior and ASPHALT Roof Cover, with 1 Units, 1 Baths, 1 HalfBaths, 0 3/4 Baths, 0 Rooms, and 0 Bdrms.

OTHER ASSESSMENTS

Code	Descrp/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Descrp	%	Item	Code	Descrp
Z				U		
o				t		
n				l		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Traffic		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Influ	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	Spec Land %	J Code	Fact	Use Value	Notes
903	MUNICPL		130680		SQUARE FESITE			0	6.	1.067	XA			USE	100					836,352					836,400	
903	MUNICPL		5.8		ACRES EXCESS			0	15,000.	1.482	XA			USE	100					128,918					128,900	

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value	Legal Description	User Acct
903	355,500	1,700	8.800	965,300	1,322,500		
Total Card						Entered Lot Size	
Total Parcel						Total Land:	
Source: Market Adj Cost						Land Unit Type:	
Total Value per SQ unit /Card: 218.09						/Parcel: 75.56	

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2007	903	FV	3,176,800	12900	8.8	965,300	4,155,000	4,155,000	Year end	1/4/2007
2006	903	FV	3,234,800	13600	8.8	780,100	4,028,500	4,028,500		12/20/2005
2005	903	FV	3,234,800	13600	8.8	714,600	3,963,000	3,963,000		1/11/2005
2004	903	FV	3,234,800	13600	8.8	654,600	3,903,000	3,903,000	Year End	1/8/2004
2003	903	FV	2,438,700	13700	8.8	487,300	2,939,700	2,939,700	FINAL VALUES FY 2003	10/31/2002
2002	903	FV	2,438,700	13700	8.8	445,500	2,897,900	2,897,900	Year End Roll	1/7/2002
2001	903	FV	2,438,700	13700	8.8	445,500	2,897,900	2,897,900	FINAL VALUE FY 2001	11/30/2000
2000	903	FV	1,874,300	14700	8.8	369,200	2,258,200	2,258,200	COMMITMENT	10/15/1999

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Assoc PGL Value	Notes

BUILDING PERMITS

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F Descrp	Comment
9/19/2006	06690	RE-ROOF	75,000	C				RE-ROOF APPROX 25%
9/14/2006	06674	MANUAL	500	C				PULL-DOWN STAIR TO
2/21/2006	06066	MANUAL	1,000	C				REMOVE HOSE TOWER,
5/20/2004	04265	GEN REPA	85,000	C				REPAIR EXTERIOR WA
9/26/2003	03580	MANUAL		C				HEATING SYSTEM,ROO
7/17/2000	00316	MANUAL		C				MOD CLS RMS MVD FR
5/27/1998	98210	MANUAL	93,000	C	7/16/1999			ADDIT
6/14/1994	94200	MANUAL	1,200	C				DOOR
7/1/1993	93249	MANUAL	1,800	C				RENOV
6/1/1993	93381	MANUAL	2,000	C				RENOV

ACTIVITY INFORMATION

Date	Result	By	Name
8/7/2007	PERMIT VISIT	197	MIKE CASSIDY
6/30/2006	PERMIT VISIT	197	MIKE CASSIDY
5/31/2000	PERMIT VISIT	264	D SAUNDERS
7/16/1999	PERMIT VISIT	197	MIKE CASSIDY
2/25/1999	MEAS+INSPCTD	243	C. NICHOLS
8/11/1998	PERMIT VISIT	197	MIKE CASSIDY
6/8/1994	PERMIT VISIT	193	JOHN NICHOLS
12/8/1987	MAILER RETUR	500	B.O.A.

Sign: VERIFICATION OF VISIT NOT DATA

Total AC/HA: 8.8 Total SF/SM: 383328.00 Parcel LUC: 903 MUNICPL Prime NB Desc: MIXED AV Total: 965,270 Spl-Credit Total: 965,300

FIVE YEAR PLAN
CENTRAL STREET FIRE STATION

FY14

Replace single pane windows with thermal pane-energy --\$12,000.00 *YES*

Increase capacity of generator -----\$40,000.00 *YES
FY 16*

FY15

Epoxy seal Truck Bay Floor-safety; infrastructure -----\$15,000.00 *YES*

Replace Air Compressor in Basement ----- \$5,000.00 *YES*

FY16

~~Structural engineer assessment (safety) -----\$5,000.00~~

Renovate entire 2nd Floor (Safety, Infrastructure) ----- \$25,000.00 *YES*

FY 17

Upgrade basemen humidity, water leaks (Infrastructure) \$56,000.00 *NO*

FY 18

Replace Overhead doors in all Bays (Infrastructure) -----\$16,000.00 *YES*

COST FOR THE 5 FY'S=\$173,000.00

The above prices do not include contingencies, administrative, overhead cost or COL increases.

This building should be replaced.

Central Street Fire Station:

Renovated shower and rest room on the second floor. (Health & Welfare; Infrastructure)

Completely tuck pointed the exterior walls. (Safety; Infrastructure)

Painted the exterior of the building and replaced dry rotted wood. (Infrastructure)

Replaced roof. (Safety; Infrastructure) FY 16

Initiated an electrical upgrade of entire building service and lighting. (Safety; Energy)

Basement area - remediated HAZMAT, mold and mildew, and upgraded supports. (Safety)

Had a structural engineer go over the building to inspect for structural integrity, and support (collar ties) have been placed in the attic and basement. (Safety; Infrastructure)

Removed and replaced old energy inefficient boiler. (Safety; Energy) FY 17

Initiated window replacements of single-pane non-energy efficient windows. (Infrastructure; Energy)

Special drainage was installed in the basement to abate a flooding problem. (Safety; Infrastructure)

Kitchen area was renovated. (Safety; Health and Welfare)

Reinforced exterior Fire escape. (Safety)

Upgraded the controlled heat in the Truck Bays. (Energy)

Installed HVAC units in the Chief's Office. (Health & Welfare)



PROPERTY LOCATION

No	Alt No	Direction/Street/City
36		SOUTH MAIN ST, IPSWICH

OWNERSHIP

Owner 1:	TOWN OF IPSWICH
Owner 2:	GENERAL MUNICIPAL
Owner 3:	
Street 1:	25 GREEN ST
Street 2:	
Twn/City:	IPSWICH
St/Prov:	MA Cntry Own Occ: N
Postal:	01938 Type:

PREVIOUS OWNER

Owner 1:	
Owner 2:	
Street 1:	
Twn/City:	
St/Prov:	Cntry
Postal:	

NARRATIVE DESCRIPTION

This parcel contains .6 ACRES of land mainly classified as IMP TOWN with a ANTIQUE Building built about 1819, having primarily CLAPBOARD Exterior and 1571 Square Feet, with 1 Unit, 2 Baths, 0 3/4 Bath, 0 HalfBath, 0 Rooms, and 0 Bdrm.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	IR	IR	100	water		
				Sewer		
				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Infl 1 %	Infl 2 %	Infl 3 %	Appraised Value	Alt Class %	Spec Land	J Code	Fact	Use Value	Notes
931	IMP TOWN		26140		SQUARE FESITE			0	6.35	1.47	XG						243,421					243,400	

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description	User Acct
931	0.600	190,100		243,400	433,500	HASKELL HALL VISITORS CNTR	
Total Card		0.600	190,100	243,400	433,500	Entered Lot Size	
Total Parcel		0.600	190,100	243,400	433,500	Total Land:	
Source: Market Adj Cost		Total Value per SQ unit /Card: 275.94		/Parcel: 275.94		Land Unit Type:	

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2018	931	FV	170,900	0	.6	230,000	400,900	400,900	Year End Roll	1/2/2018
2017	931	FV	165,000	0	.6	218,500	383,500	383,500	Year End Roll	12/12/2016
2016	931	FV	165,000	0	.6	184,000	349,000	349,000	year end	12/9/2015
2015	931	FV	165,000	0	.6	180,200	345,200	345,200	Roll Values	1/13/2015
2014	931	FV	165,000	0	.6	172,500	337,500	337,500	Year End Roll	12/13/2013
2013	931	FV	149,500	0	.6	174,400	323,900	323,900	Year End	12/10/2012
2012	931	FV	160,400	0	.6	180,200	340,600	340,600	year end	12/15/2011
2011	931	FV	164,800	0	.6	199,300	364,100	364,100	Year End Roll	12/28/2010

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
	DOC#136973		3/16/1971	OTHER		No	No		CT#40906DOC#136973

BUILDING PERMITS

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descr	Comment
7/19/2017	C-17-0044	ALTERATI	17,900	C				RENOV,ENL G BTH TO
4/1/2010	10153	GEN REPA	1,200	C				REPL REAR DR, ROT
6/15/2007	07350	TEMP STR	300	C				ERECT TENT
5/24/2007	07288	TEMP STR	550	C				ERECT TENT
6/20/2006	06387	SIGN		C				SANDWICH BOARD SIG
5/20/2005	05264	MANUAL	520	C				REP BATHRM WINDOW
4/7/2004	04154	GEN REPA	3,000	C				STRUCTURE REPAIRS
4/27/1999	99150	MANUAL	20,000	C	7/16/1999			REM.SFL
6/18/1998	98259	MANUAL	3,700	C				RAMP
2/4/1997	97034	MANUAL	5,000	C				WALLS+

ACTIVITY INFORMATION

Date	Result	By	Name
7/10/2018	PERMIT VISIT	197	MIKE CASSIDY
5/18/2010	PERMIT VISIT	197	MIKE CASSIDY
5/14/2008	PERMIT VISIT	197	MIKE CASSIDY
8/6/2007	PERMIT VISIT	197	MIKE CASSIDY
7/16/1999	PERMIT VISIT	197	MIKE CASSIDY
2/25/1999	MEASURED	243	C. NICHOLS
8/11/1998	PERMIT VISIT	197	MIKE CASSIDY
12/8/1987	MAILER RETUR	500	B.O.A.

Sign: VERIFICATION OF VISIT NOT DATA

Total AC/HA: 0.60009	Total SF/SM: 26140	Parcel LUC: 931	IMP TOWN	Prime NB Desc: MIXED GD	Total: 243,421	Spl Credit:	Total: 243,400
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42A Map 129 Block 0 Lot

Library

1 of 1 COMMERCIAL CARD

TOTAL ASSESSED: 2,100,700 14067!

Town of Ipswich



PROPERTY LOCATION

No	Alt No	Direction/Street/City
25		NORTH MAIN ST, IPSWICH

OWNERSHIP

Owner 1:	TOWN OF IPSWICH LIBRARY
Owner 2:	
Owner 3:	
Street 1:	25 NORTH MAIN ST.
Street 2:	
Twn/City:	IPSWICH
St/Prov:	MA Cntry
Postal:	01938 Own Occ: Y Type:

PREVIOUS OWNER

Owner 1:	
Owner 2:	
Street 1:	
Twn/City:	
St/Prov:	Cntry
Postal:	

NARRATIVE DESCRIPTION

This Parcel contains .497 ACRES of land mainly classified as MUNICPL with a(n) LIBRARY Building Built about 1869, Having Primarily BRICK Exterior and SLATE Roof Cover, with 1 Units, 0 Baths, 4 HalfBaths, 0 3/4 Baths, 0 Rooms, and 0 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Descrp	%	Item	Code	Descrp
Z	IR	IR	100	U	1	TYPL
c				t		
n				l		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Traffic		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes	
903	MUNICPL		21660		SQUARE FESITE			0	8.	3.416	XV			USE	100					591,840							591,800	

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value	Legal Description	User Acct
903	1,516,900		0.497	591,800	2,108,700		
Total Card		1,516,900	0.497	591,800	2,108,700	Entered Lot Size	
Total Parcel		1,516,900	0.497	591,800	2,108,700	Total Land:	
Source: Market Adj Cost		Total Value per SQ unit /Card: 154.53		/Parcel: 154.53		Land Unit Type:	

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2007	903	FV	1,516,900	0	.497	591,800	2,108,700	2,108,700	Year end	1/4/2007
2006	903	FV	1,515,200	0	.497	468,300	1,983,500	1,983,500		12/20/2005
2005	903	FV	1,515,200	0	.497	406,900	1,922,100	1,922,100		1/11/2005
2004	903	FV	1,515,200	0	.497	369,900	1,885,100	1,885,100	Year End	1/8/2004
2003	903	FV	1,184,900	0	.497	301,800	1,486,700	1,486,700	FINAL VALUES FY 2003	10/31/2002
2002	903	FV	1,184,900	0	.497	251,500	1,436,400	1,436,400	Year End Roll	1/7/2002
2001	903	FV	1,184,900	0	.497	251,500	1,436,400	1,436,400	FINAL VALUE FY 2001	11/30/2000
2000	903	FV	721,200	0	.497	191,800	913,000		COMMITMENT	10/15/1999

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Assoc PCL Value	Notes
AUGUSTINE HEARD	752-217		8/4/1868			0	No	No		YEAR OF DEED IS 1868

BUILDING PERMITS

Date	Number	Descrp	Amount	C/O	Last Visit	Fed Code	F. Descrp	Comment
5/30/2007	07300	SIGN		300	C			TEMP CONSTR SIGN
5/7/2007	07214	RE-ROOF	131,710	C				slate roof restora
3/14/2006	06103	MANUAL	5,000	C				INST STRUCT BEAMS
1/25/2006	06037	RE-ROOF	10,000	C				REPL APPROX 40 ROO
4/4/2000	00118	MANUAL	500	C				SIGN
5/8/1997	97156	MANUAL	2,100,000	C				RENOVS
8/24/1995	95351	MANUAL	4,646	C				REPAIRS

ACTIVITY INFORMATION

Date	Result	By	Name
8/6/2007	PERMIT VISIT	197	MIKE CASSIDY
7/7/2006	PERMIT VISIT	197	MIKE CASSIDY
7/29/1999	PERMIT VISIT	243	C. NICHOLS
3/18/1999	MEAS+INSPECTD	243	C. NICHOLS
8/11/1998	PERMIT VISIT	197	MIKE CASSIDY
8/5/1997	PERMIT VISIT	197	MIKE CASSIDY
7/10/1996	PERMIT VISIT	197	MIKE CASSIDY
11/20/1987	MAILER RETUR	500	B.O.A.

Sign: VERIFICATION OF VISIT NOT DATA

Total AC/HA: 0.497245 Total SF/SM: 21660.00 Parcel LUC: 903 MUNICPL Prime NB Desc: MIXED VG Total: 591,840 Spl Credit Total: 591,800

LIBRARY FIVE YEAR PLAN

FY14

Carpet replacement Main Floor -FWT-----	\$16,000.00	✓ YES
Paint interior of building-Health & Welfare-----	\$20,000.00	✓ YES
Retrofit lighting-energy & service upgrade-----	\$12,000.00	✓ YES

FY15

Replace Ceiling tiles on Main level-infrastructure-----	\$25,000.00	✓ YES
Remove, replace handicap ramp front (ADA)-----	\$27,000.00	✓ YES
Carpet replacement upper level-FWT-----	\$15,000.00	✓ YES

FY16

Remove/or reset brick pavers in front of building (safety)-	\$35,000.00	✓ YES
Remove, replace iron fence in front of building(cosmetic)-	\$40,000.00	NO

FY17

Tuck point exterior of building(Infrastructure)-----	\$85,000.00	Partial
Upgrade drainage system outside front(infrastructure)----	\$10,000.00	✓ YES

FY18

Remove and replace old single pane windows(Energy)-----	\$60,000.00	NO
Replace roof top A/C units (energy)-----	\$36,000.00	✓ YES 20

COST FOR 5 FY'S= \$381,000.

The prices do not include overhead, contingencies, administrative cost or COL increases/

Recommend Baiters be replaced.

Town Public Library

Prior to my arrival, the Town Public Library had an addition added and a new roof (slate) which as poorly done.

What been done since my arrival:

Removed and replaced the 50% efficient boiler (oil fired) with a 95% efficient boiler (natural gas fired).

Initiated a tuck pointing project beginning in the worst areas on the exterior of the building that were causing leaks to the interior walls.

Installed heat tapes to ice guards and gutter to prevent ice and snow damming which has cause serious interior wall and carpet damage.

Removed and replaced safety hazardous brick pavers in the landing area in the front of the Library and also the steps.

Initiated an interior painting program beginning with water damaged areas.

Initiated a carpet replacement program beginning with the water damaged areas.

Major retrofit on exterior safety and night lights.

Initiated electrical upgrades on service and lighting.

Upgrades to HVAC System, improved SEER rating.

Replaced hearth in Rogers Room. x

Removed and rebuild safety rails to rear steps.

Replaced all Roof Top (A/C units)

27C 004B 0
Map Block Lot

LINEBROOK

1 of 1 COMMERCIAL
CARD

TOTAL ASSESSED: 406 0
!1634!

Town of Ipswich



Patriot
Properties Inc.

PROPERTY LOCATION

No	Alt No	Direction/Street/City
330		LINEBROOK RD, IPSWICH

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value	Legal Description	User Acct
935	264,100	3,500	0.596	139,100	406,700		
Total Card						Entered Lot Size	GIS Ref
Total Parcel						Total Land:	GIS Ref
Source: Market Adj Cost						Land Unit Type:	Insp Date
Total Value per SQ unit /Card: 81.34			/Parcel: 81.34			05/26/10	

OWNERSHIP

Owner 1:	TOWN OF IPSWICH
Owner 2:	SUB-FIRE HOUSE
Owner 3:	
Street 1:	IPSWICH TOWN HALL
Street 2:	
Twn/City:	IPSWICH
St/Prov:	MA Cntry Own Occ: N
Postal:	01938 Type:

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2012	935	FV	264,100	3500	.596	139,100	406,700	406,700	year end	12/15/2011
2011	935	FV	264,100	3500	.596	139,100	406,700	406,700	Year End Roll	12/28/2010
2010	935	FV	266,700	3600	.596	139,100	409,400	409,400		12/29/2009
2009	903	FV	281,600	3700	.596	139,100	424,400	424,400		12/30/2008
2008	903	FV	285,900	3800	.596	139,100	428,800	428,800		12/27/2007
2007	903	FV	285,900	3800	.596	139,100	428,800	428,800	Year end	1/4/2007
2006	903	FV	292,100	3900	.596	118,200	414,200	414,200		12/20/2005
2005	903	FV	292,100	3900	.596	118,200	414,200	414,200		1/11/2005

PREVIOUS OWNER

Owner 1:	
Owner 2:	
Street 1:	
Twn/City:	
St/Prov:	Cntry
Postal:	

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Assoc PCL Value	Notes
	6456-303		4/3/1978	OTHER		0	No	No		

NARRATIVE DESCRIPTION

This Parcel contains .596 ACRES of land mainly classified as IMP PUBSAF with a(n) FIRE STAT Building Built about 1985, Having Primarily BRICK VENTR Exterior and ASPHALT Roof Cover, with 1 Units, 0 Baths, 1 HalfBaths, 0 3/4 Baths, 0 Rooms, and 0 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

BUILDING PERMITS

Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment
11/10/2009	09692	RE-ROOF	9,000	C				NEW ROOF
10/15/2007	07684	ALTERATI	2,000	C				MINOR INTERIOR ALT
9/27/2007	07647	RE-ROOF	2,720	C				STRIP AND RE-ROOF
10/7/2005	05605	MANUAL	200	C				REPL DOOR TO FIREH
11/15/1993	93524	MANUAL		C				FIN SFL

ACTIVITY INFORMATION

Date	Result	By	Name
5/26/2010	PERMIT VISIT	197	MIKE CASSIDY
5/14/2008	PERMIT VISIT	197	MIKE CASSIDY
7/7/2006	PERMIT VISIT	197	MIKE CASSIDY
10/29/1998	MEASURED	197	MIKE CASSIDY
6/24/1996	PERMIT VISIT	197	MIKE CASSIDY
5/4/1995	PERMIT VISIT	197	MIKE CASSIDY
6/2/1994	PERMIT VISIT	193	JOHN NICHOLS

PROPERTY FACTORS

Item	Code	Descip	%	Item	Code	Descip
Z	PC	PLANNED	100	U	1	TYPCL
o				t		
n				i		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Traffic		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
935	IMP PUBSAF		25966		SQUARE FESITE			0	4.	1.339	IA									139,052						139,100	

Sign: VERIFICATION OF VISIT NCT DATA

Total AC/HA: 0.59610 Total SF/SM: 25966.12 Parcel LUC: 935 IMP PUBSAF Prime NB Desc: IND AVG

Total: 139,052 Spl Credit: Total: 139,100

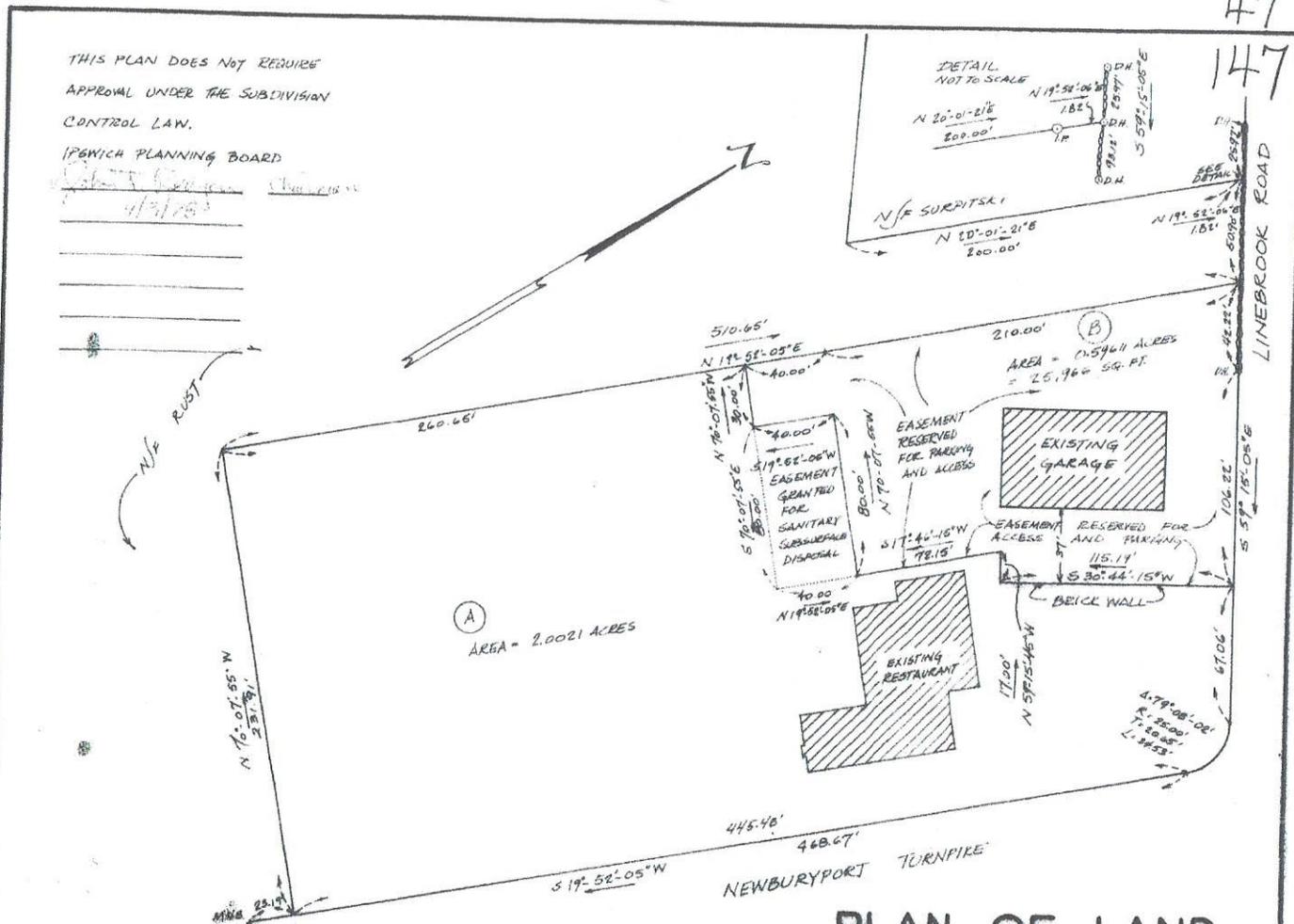
Disclaimer: This Information is believed to be correct but is subject to change and is not warranted. Database: AssessPro

47
147

THIS PLAN DOES NOT REQUIRE
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW.

IPSWICH PLANNING BOARD

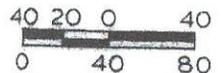
Robert Rust et al
4/2/77



PLAN OF LAND in IPSWICH, MASS.

drawn for
WILLIAM K. RUST ET ALI

March 1977 1" = 40'



merrimack engineering services
66 main street suite 13
andover, massachusetts 01810
telephone: (617) 475-3555

- NOTES:
- SEE PLAN OF LAND IN IPSWICH, MASS. AS DRAWN FOR WILLIAM K. RUST ET ALI, SCALE 1"=40' DATE: JULY 1975 DRAWN BY MERRIMACK ENGINEERING SERVICES, 211 HAGGETTS POND ROAD, ANDOVER, MASSACHUSETTS FOR ADDITIONAL PROPERTY LINE DATA.
 - THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

F.E. Merrimack
F.E. Merrimack R.L.S.
DATE

For Registry Use

PLAN BOOK 147 PLAN 47
INDEXED RECORD OF DEEDS, 82-9127
CHANDLER, MASS.

Recorded Apr. 3, 1977
at Ipswich
by John S. O'Brien
Register of Deeds

Tax map



27C-020-0

27C-020A-0

27C-024B-0

27C-014-0

27C-015-0

27C-019-0

27C-016-0

27C-018-0

27C-025-0

27C-006D-0

27C-005-0

27C-017-0

27C-026A-0

27C-028-

27C-006-0

27C-004B-0

27C-026-0

27C-027-0

27C-006C-0

27C-004A-0

27C-003-0

27C-030-0

27C-029-0

27C-001-0

27C-007-0

27C-004C-0

27C-031-0

7C-007B-0

38A-009-0

38A-015-0

38A-018-0

38A-008-0

38A-008B-

Turnpike Rd

Linebrook Fire Station

- Mold and mildew remediation, and rodent control. (Health & Welfare) YES
- Renovated the exercise area and added a shower and bath. (Health & Welfare) YES
FY 14
- Renovated the entire second level, added a bath and upgraded the plumbing. (Health & Welfare) YES
FY 14
- Replaced roof. (Infrastructure) FY 14
- Installed fans in truck bay for energy reduction. (Energy) YES
- Replaced all lighting in truck bay area. (Energy) Ongoing
- Renovated kitchen area (Health & Welfare) YES
- Replaced several broken windows and frames. (Infrastructure; Energy) YES

LINEBROOK FIRE STATION FIVE YEAR PLAN

FY 14

Remove & replace the concrete apron in front- safety -----\$11,000.00 ✓

Upgrade electrical service and lighting-Energy -----\$7,000.00 ✓

FY15

Purchase and install emergency generator Emergencies--\$25,000.00 ✓

FY 16

Replace oil fire boiler and convert to natural gas-Energy-\$10,000.00 ✓

COST ESTIMATE FOR THE FY'S=\$53,000.00

These prices do not include overhead, contingencies, administrative costs or COL increases.

OFFICIAL INSPECTION FORM – NOT FOR VOLUNTARY ASSESSMENTS
SUBSURFACE SEWAGE DISPOSAL SYSTEM INSPECTION FORM
PART C
SYSTEM INFORMATION (continued)

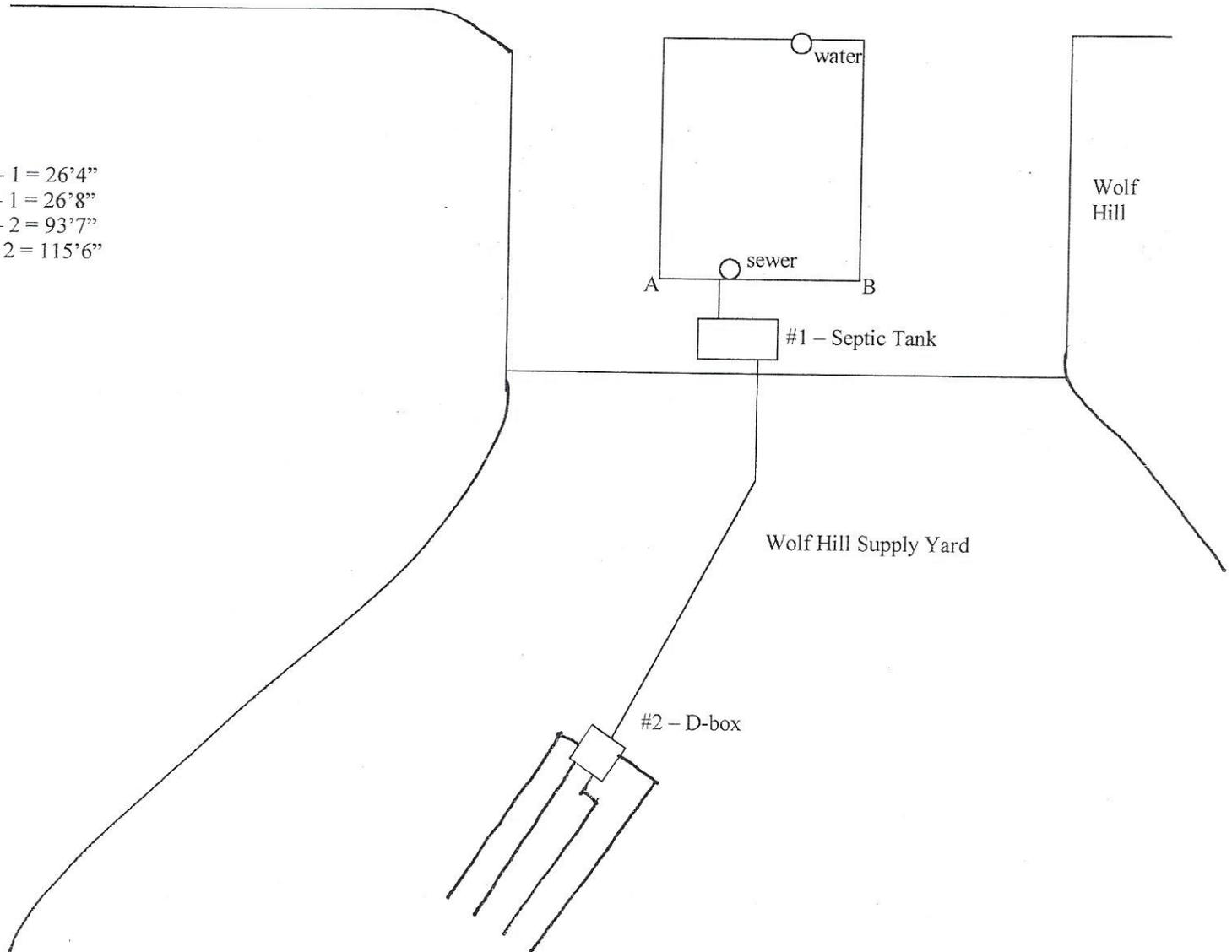
Property Address: 330 Linebrook Road
Ipswich, MA 01938
Owner: Town of Ipswich
Date of Inspection: October 2, 2002

SKETCH OF SEWAGE DISPOSAL SYSTEM

Provide a sketch of the sewage disposal system including ties to at least two permanent reference landmarks or benchmarks. Locate all wells within 100 feet. Locate where public water supply enters the building.

Linebrook Road

- A - 1 = 26'4"
- B - 1 = 26'8"
- A - 2 = 93'7"
- B - 2 = 115'6"



42A 290 0
Map Block Lot

Police Station

1 of 1 COMMERCIAL
CARD

TOTAL ASSESSED: 489,000
15955!

Town of Ipswich

PROPERTY LOCATION

No	Alt No	Direction/Street/City
15		ELM ST, IPSWICH

OWNERSHIP

Owner 1:	TOWN OF IPSWICH
Owner 2:	
Owner 3:	
Street 1:	POLICE STATION
Street 2:	
Twn/City:	IPSWICH
St/Prov:	MA Cntry Own Occ:
Postal:	01938 Type:

PREVIOUS OWNER

Owner 1:	
Owner 2:	
Street 1:	
Twn/City:	
St/Prov:	Cntry
Postal:	

NARRATIVE DESCRIPTION

This Parcel contains .071 ACRES of land mainly classified as MUNICPL with a(n) GOVT BLDG Building Built about 1900, Having Primarily BRICK Exterior and SLATE Roof Cover, with 1 Units, 2 Baths, 7 HalfBaths, 0 3/4 Baths, 0 Rooms, and 0 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int.

PROPERTY FACTORS

Item	Code	Descip	%	Item	Code	Descip
Z				U		
o				t		
n				i		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Traffic		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
903	MUNICPL		3098		SQUARE FESITE			0	5.85		9.000	XG								163,110						163,100	

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Value	Yard Items	Land Size	Land Value	Total Value	Legal Description	User Acct
903	322,700	3,200	0.071	163,100	489,000	POLICE STATION	
Total Card						Entered Lot Size	
Total Parcel						Total Land:	
Source: Market Adj Cost						Land Unit Type:	
Total Value per SQ unit /Card: 107.83						/Parcel: 107.83	

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Assoc PCL Value	Notes

BUILDING PERMITS

Date	Number	Descip	Amount	C/O	Last Visit	Fed Code	F. Descip	Comment
7/5/2007	07398	MANUAL	1,000	O				CUT EXT WALL TO IN

ACTIVITY INFORMATION

Date	Result	By	Name

Sign: VERIFICATION OF VISIT NOT DATA / /



Patriot Properties Inc.

USER DEFINED

Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
ASR Map:	
Fact Dist:	
Reval Dist:	
Year:	
Land Reason:	
Bld Reason:	

Total AC/HA: 0.0711203 Total SF/SM: 3098.00 Parcel LUC: 903 MUNICPL Prime NB Desc: MIXED GD Total: 163,110 Spl Credit Total: 163,100

Elm St. Police Station

The Police Station at one time was the wire storage facility for the Utility Department (Electrical Section).

What has been done during my first five year plan:

The slate roof has been removed and replaced.

All toilets and sinks have been replaced, and several plumbing upgrades have been made (showers added, new sewer lines, and hot and cold feed lines replaced or added).

Window replacement program was initiated. We removed the single pane energy inefficient windows and replaced with thermal pane windows.

Renovated the gym exercise area and upgraded the HVAC. Added energy efficient windows, upgraded the electrical service, and installed energy efficient lighting in that area.

Upgraded the HVAC throughout the entire building and added energy efficient units.

Remediated mold and mildew and insect rodent control in both buildings (Station and Garage areas).

Initiated electrical service upgrades.

Removed and replaced all dry rotting wood on the exterior of the building and painted the exterior of the building.

Painted the interior of the building and cell blocks, and upgraded the cell blocks to conform to State Codes.

Replaced ceilings in main building, reinforced and install new floor on main floor of building.

POLICE FIVE YEAR PLAN

FY14

- Replace ceiling on main floor (infrastructure) -----\$6,000.00 ~~YES~~
- Electrical service upgrade (energy) -----\$12,000.00 YES
- Replace emergency generator (safety) -----\$40,000.00 YES
2017

FY15

- Reroof the garage/exercise room (infrastructure) -----\$25,000.00 YES 2018
- Replace electrical heat system w/gas fired boiler(Energy)-\$57,000.00 NO

FY16

- *Tuck point and seal building exterior (Infrastructure) ---\$49,000.00 ongoing
- Upgrade entire plumbing system (Health and Welfare) ---\$70,000.00 ongoing

FY17

- *Install central A/C (Health & Welfare/Energy) -----\$20,000.00 NO
INSTALLED multiple split units 2018
- Paint exterior of Building (Infrastructure) -----\$15,000.00 ~~NO~~

FY18

- *Paint interior of building (Health & Welfare) -----\$12,000.00 YES
- *Replace Carpet in Offices (Health & Welfare & FWT) --\$10,000.00 YES

COST FOR 5 FY'S= \$316,000.00

The prices do not include overhead, contingencies, administrative cost or COL increases.

*If building has not been replaced.

Renovated office areas and added an interview room in main building.
Landscaped and cleaned up the grounds around the exterior of the building.

New Five Year Plan

Replace the existing energy inefficient electric heat with a high efficient gas fire boiler, \$57,000.00. (Energy) (FY16) *No*

Complete the upgrades to the electrical and lighting, \$7,000.00. (Energy, Safety) (FY13) *ON GOING*

Complete the ceilings replacement project, \$3,000.00. (Infrastructure) (FY14) *YES*

Replace emergency generator with larger unit, \$40,000.00. (Emergencies) (FY15) *YES 2017*

The parking lot adjacent to and surrounding the Police Station is in dire need of grading and resurfacing (DPW). *yes partial*

Total cost for the Police Department over the next five years is \$107,000.00- not counting the parking lot repair.

*Remove one cell & Renovated Area
For additional offices & expansion of
911 center. 2018*

Removed & Replaced Gmenge Roof 2018

Installed an emergency generator that will handle the entire building electrical load.

Rebuilt the ADA Garaventa Lift to the gym stage.

Initiated program to retrofit the interior lighting with more energy efficient units.

Initiated upgrades to electrical service.

Installed solar panels on the Town Hall roof.

Converted old phone system to a voice over IP system.

Moisture proofed the elevator pit.

Rebuilt main cylinder to elevator.

Cleaned up and landscaped exterior of building.

Retrofitted the drainage system in Town Hall for flood control.

Installed hand dryers in all rest rooms in Town Hall.

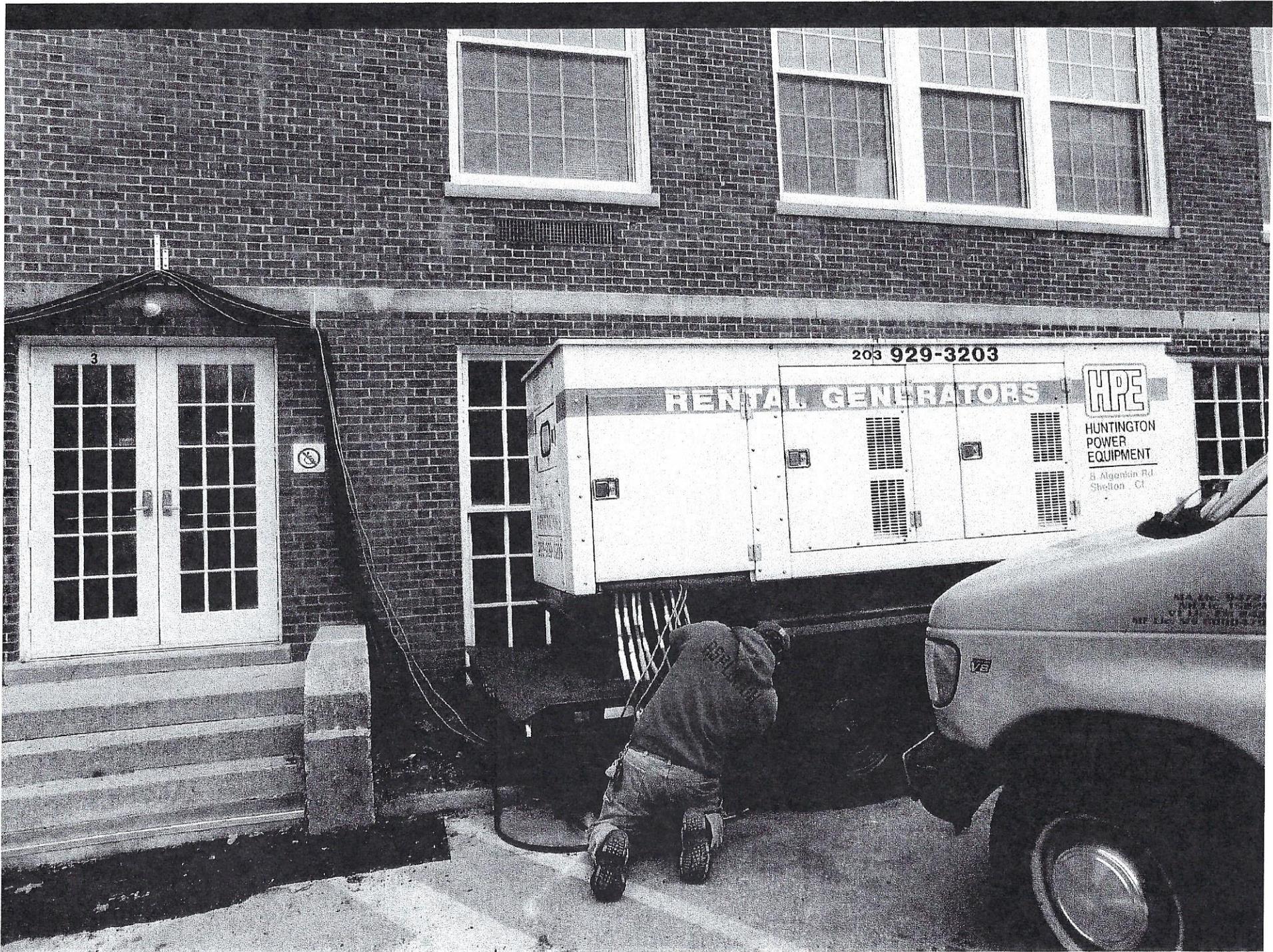
New Five Year Plan

Replace 60% efficient boiler package with a 95% efficient boiler package, \$60,000.00. (Safety, Energy) (FY15) (No)

Replace old roof top HVAC units (worst first), \$80,000.00 total. (Energy, Health & Welfare) (FY16) (2018) YES

Remove and replace parapet caps on roof, \$10,000.00. (Infrastructure) (FY17) (2014) YES

Complete window replacement project (stairwells, and storage rooms), \$22,000.00. (Energy, Infrastructure)(FY18) (No)



203 929-3203

RENTAL GENERATORS

HPE

HUNTINGTON
POWER
EQUIPMENT
8 Algonquin Rd.
Shelton, Ct.

3



V6

Town Hall

What has been done during my first five year plan?

Replaced all single pane windows in all office areas with thermal pane energy efficient units.

Made extensive roof repairs to main roof.

Initiated a program to replace old worn carpets throughout Town Hall.

Initiated tuck point to exterior of building.

Painted interior of building.

Painted exterior of building.

Installed granite steps at Main entrance to building.

Removed and replaced sidewalks around the building.

Upgraded space allocation - made a room swap with Assessors Department and the Planning Department.

Renovated and expanded the Veterans Department.

Removed rubber floor in gym and refinished the existing wood floor.

Initiated column replacement project in front of Town Hall.

Removed and replaced all exterior lights with brighter and more energy efficient units.

Removed the lights in the gym and replaced with a more energy efficient units.

Appendix F: Replacement Reserves



7/30/2019

Location	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Total Escalated Estimate
Highway Garage	\$31,035	\$0	\$0	\$293,595	\$4,487	\$360,165	\$243,940	\$0	\$32,198	\$29,069	\$326,220	\$3,354	\$0	\$37,413	\$96,001	\$491,671	\$103,550	\$47,648	\$43,272	\$11,239	\$52,596	\$2,207,454
Highway Salt	\$3,297	\$0	\$0	\$0	\$37,464	\$0	\$0	\$0	\$39,253	\$0	\$10,315	\$0	\$0	\$0	\$73,197	\$0	\$0	\$0	\$0	\$0	\$13,862	\$177,389
Ipswich Fire	\$8,355	\$35,235	\$0	\$56,348	\$30,433	\$12,096	\$7,042	\$4,326	\$18,315	\$36,717	\$51,485	\$57,941	\$33,582	\$29,599	\$46,043	\$147,762	\$37,580	\$5,814	\$5,571	\$732,462	\$39,181	\$1,395,888
Ipswich Haskell House	\$67,058	\$12,459	\$0	\$12,128	\$6,181	\$14,020	\$0	\$0	\$2,953	\$0	\$15,263	\$0	\$7,830	\$3,136	\$0	\$52,115	\$0	\$0	\$0	\$0	\$143,640	\$336,784
Library	\$5,971	\$30,151	\$0	\$237,313	\$77,012	\$42,924	\$28,971	\$39,397	\$372,105	\$243,797	\$160,572	\$89,415	\$15,575	\$264,716	\$5,390	\$651,473	\$58,710	\$1,659	\$197,453	\$797,254	\$57,484	\$3,377,343
Linebrook Fire Station	\$35,106	\$49,474	\$0	\$34,678	\$0	\$46,811	\$0	\$3,650	\$1,487	\$2,528	\$38,670	\$7,571	\$12,892	\$23,018	\$0	\$357,961	\$4,634	\$17,028	\$0	\$5,665	\$81,602	\$722,774
Police & Annex	\$8,787	\$121,458	\$0	\$15,090	\$8,078	\$62,841	\$0	\$0	\$1,016	\$0	\$60,348	\$12,210	\$3,952	\$39,666	\$12,060	\$136,407	\$217,291	\$30,046	\$5,571	\$41,354	\$39,878	\$816,053
Town Hall	\$71,539	\$29,657	\$12,216	\$548,266	\$160,376	\$708,286	\$47,789	\$174,540	\$269,823	\$15,822	\$907,683	\$426,138	\$540,401	\$57,017	\$63,271	\$2,872,477	\$27,425	\$111,236	\$27,141	\$30,913	\$778,008	\$7,880,025
GrandTotal	\$231,149	\$278,433	\$12,216	\$1,197,418	\$324,031	\$1,247,142	\$327,742	\$221,913	\$737,152	\$327,932	\$1,570,557	\$596,629	\$614,232	\$454,565	\$295,964	\$4,709,867	\$449,190	\$213,432	\$279,008	\$1,618,889	\$1,206,252	\$16,913,711

Highway Garage		Unifomat CodeID	Cost Description	Lifespan (EUL)	EA	Age	RUL	Quantity	Unit	Unit Cost	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
B2011	1154160	Exterior Wall, Insulated Finishing System (EIFS), 1-2 Stories, Repair	20	17	3	2850	SF	\$50.80	\$144,775																								\$144,775			
B2011	1154139	Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	10	2	8	800	SF	\$3.20	\$2,558											\$2,558														\$2,558		
B2011	1154159	Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	10	0	10	1250	SF	\$3.20	\$3,997													\$3,997												\$3,997		
B2011	1154163	Exterior Wall, Textured Plywood (T1-11), Replace	20	3	17	800	SF	\$12.91	\$10,329																									\$10,329		
B2021	1154151	Window, SF, Replace	30	27	3	7	EA	\$2,100.29	\$14,702																									\$14,702		
B2021	1154158	Window, SF, Replace	30	14	16	4	EA	\$618.92	\$2,476																										\$2,476	
B2032	1154154	Exterior Door, Steel Insulated, Replace	25	19	6	2	EA	\$1,757.37	\$3,515																										\$3,515	
B3011	1154148	Roof, Single-Ply EPDM Membrane, Replace	20	10	10	7500	SF	\$11.72	\$87,895																										\$87,895	
B3011	1154144	Roof, Single-Ply EPDM Membrane, Replace	20	3	17	1200	SF	\$11.72	\$14,063																										\$14,063	
C1021	1154157	Interior Door, Steel, Replace	25	15	10	5	EA	\$1,058.43	\$5,292																										\$5,292	
C3012	1154149	Interior Wall Finish, Generic Surface, Prep & Paint	8	5	3	1500	SF	\$1.62	\$2,423																										\$2,423	
C3032	1154156	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	10	10	1000	SF	\$3.46	\$3,465																										\$3,465	
D2011	1154161	Toilet, Tankless (Water Closet), Replace	20	5	15	1	EA	\$939.07	\$939																										\$939	
D2012	1154166	Urinal, Vitreous China, Replace	20	0	20	1	EA	\$1,329.49	\$1,329																											\$1,329
D2014	1154137	Sink/Lavatory, Stainless Steel, Replace	20	17	3	1	EA	\$1,174.21	\$1,174																										\$1,174	
D2023	1154150	Water Heater, 40 GAL, Replace	10	7	3	1	EA	\$2,617.32	\$2,617																										\$2,617	
D2029	1174982	Plumbing System, Domestic Supply & Sanitary, Upgrade	40	35	5	200	SF	\$29.83	\$5,967																										\$5,967	
D3011	1155657	Fuel Oil Tank Monitoring System, Replace	20	11	9	1	EA	\$22,279.15	\$22,279																										\$22,279	
D3011	1155656	Fuel Storage Tank- Buried, 5,000 GAL, Replace	25	11	14	2	EA	\$31,734.08	\$63,468																										\$63,468	
D3032	1154147	Ductless Split System, Multi Zone (per 1 to 2 Ton Fan Coil Unit), Replace	15	11	4	1	EA	\$3,986.69	\$3,987																										\$3,987	
D3051	1154143	Unit Heater, 250 MBH, Replace	20	4	16	3	EA	\$7,063.43	\$21,190																										\$21,190	
D3051	1154140	Unit Heater, 200 MBH, Replace	20	4	16	2	EA	\$7,063.43	\$14,127																										\$14,127	
D5012	1174979	Distribution Panel, 208 Y, 120 V, 400 Amp, Replace	30	20	10	1	EA	\$10,569.46	\$10,569																										\$10,569	
D5019	1174981	Electrical Distribution System, , Upgrade	40	25	15	9753	SF	\$32.26	\$314,646																										\$314,646	
D5022	1154138	Flood Light, Exterior, 100 W, Replace	20	3	17	4	EA	\$1,108.95	\$4,436																										\$4,436	
D5029	1174980	Lighting System, Interior, Upgrade	25	15	10	9753	SF	\$5.27	\$51,391																										\$51,391	
D5037	1154162	Fire Alarm System, Multi-Family, Upgrade/Install	20	20	0	9753	SF	\$2.44	\$23,794	\$23,794																									\$23,794	
D5092	1154145	Generator, kW, Replace	25	22	3	1	EA	\$80,129.69	\$80,130																										\$80,130	
D5092	1154141	Generator, kW, Replace	25	15	10	1	EA	\$80,129.69	\$80,130																										\$80,130	
E1031	1154167	Garage Door Opener, Belt Drive, 0.5 HP, Replace	15	9	6	6	EA	\$578.20	\$3,469																										\$3,469	
G2022	1174978	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	54000	SF	\$0.42	\$22,859																										\$22,859	
G2022	1154153	Parking Lots, Asphalt Pavement, Mill & Overlay	25	19	6	54000	SF	\$3.65	\$197,312																										\$197,312	
G2022	1154165	Parking Lots, Concrete Pavement, Replace	30	14	16	3000	SF	\$8.91	\$26,736																										\$26,736	
G2049	1154146	Prefabricated/Ancillary Building or Structure, All Components, Replace	30	25	5	2000	SF	\$139.46	\$278,923																										\$278,923	
G4021	1154152	Pole Light, 400 WATT, Replace/Install	20	15	5	5	EA	\$5,158.29	\$25,791																										\$25,791	
P000X	1154155	Engineer, Structural, General, Design	0	0	0	1	EA	\$7,241.00	\$7,241	\$7,241																									\$7,241	
Totals, Unescalated											\$31,035	\$0	\$0	\$268,681	\$3,987	\$310,681	\$204,296	\$0	\$25,418	\$22,279	\$242,739	\$2,423	\$0	\$25,477	\$63,468	\$315,585	\$6									

Uniformat CodeID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
G2041	1153015 Fences & Gates, Wood Board, Replace	30	21	9	400	SF	\$6.81	\$2,723										\$2,723												\$2,723			
Z105X	1157152 ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$8,355.00	\$8,355	\$8,355																					\$8,355			
Totals, Unescalated									\$8,355	\$34,209	\$0	\$51,566	\$27,040	\$10,434	\$5,898	\$3,518	\$14,458	\$28,141	\$38,310	\$41,858	\$23,554	\$20,156	\$30,440	\$94,843	\$23,418	\$3,518	\$3,272	\$417,713	\$21,693	\$902,392			
Totals, Escalated (3.0% inflation, compounded annually)									\$8,355	\$35,235	\$0	\$56,348	\$30,433	\$12,096	\$7,042	\$4,326	\$18,315	\$36,717	\$51,485	\$57,941	\$33,582	\$29,599	\$46,043	\$147,762	\$37,580	\$5,814	\$5,571	\$732,462	\$39,181				\$1,395,888

* Markup/LocationFactor (1.114) has been included in unit costs.

Ipswich Haskell House

Uniformat CodeID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
A2021	1152543 Basement Wall, Skim Coating/Parging, Repair	0	-3	3	900	SF	\$12.33	\$11,099				\$11,099																		\$11,099			
B101X	1152552 Structural Frame, Wood Conventional Stud	50	49	1	200	SF	\$20.16	\$4,033		\$4,033																				\$4,033			
B2011	1152547 Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Repair	0	0	0	150	SF	\$29.88	\$4,482	\$4,482																					\$4,482			
B2011	1152551 Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	10	10	0	2560	SF	\$3.20	\$8,187	\$8,187									\$8,187										\$8,187		\$24,560			
B2021	1152559 Window, 12 SF, Restore	30	30	0	19	EA	\$23,339.40	\$44,449	\$44,449																					\$44,449			
B2032	1152556 Exterior Door, Wood Solid-Core, Replace	25	25	0	1	EA	\$1,585.34	\$1,585	\$1,585																					\$1,585			
B2032	1152554 Exterior Door, Wood Solid-Core, Replace	25	15	10	2	EA	\$1,585.34	\$3,171										\$3,171												\$3,171			
B3011	1152557 Roof, Asphalt Shingle Premium Grade, Replace	30	15	15	1530	SF	\$5.61	\$8,590															\$8,590							\$8,590			
C1021	1152548 Interior Door, Wood Solid-Core, Replace	20	0	20	14	EA	\$1,585.34	\$22,195																				\$22,195		\$22,195			
C3012	1152560 Interior Wall Finish, Generic Surface, Prep & Paint	8	4	4	3400	SF	\$1.62	\$5,492					\$5,492							\$5,492								\$5,492		\$16,476			
C3024	1152558 Interior Floor Finish, Wood Strip, Sand & Refinish	10	5	5	2950	SF	\$4.10	\$12,094					\$12,094										\$12,094							\$24,187			
C3024	1152549 Interior Floor Finish, Rubber Tile, Replace	15	7	8	100	SF	\$9.39	\$939								\$939														\$939			
D2011	1152561 Toilet, Flush Tank (Water Closet), Replace	20	7	13	1	EA	\$1,175.44	\$1,175														\$1,175								\$1,175			
D2014	1152555 Sink/Lavatory, Vitreous China, Replace	20	7	13	1	EA	\$959.72	\$960														\$960								\$960			
D2023	1152550 Water Heater, 20 GAL, Replace	15	7	8	1	EA	\$1,392.41	\$1,392								\$1,392														\$1,392			
D3021	1152553 Boiler, 120 MBH, Replace	25	10	15	1	EA	\$12,766.90	\$12,767															\$12,767							\$12,767			
D5019	1152545 Load Center, 100 AMP, Replace	30	10	20	1	EA	\$5,659.04	\$5,659																				\$5,659		\$5,659			
D5037	1152544 Fire Alarm System, Office Building, Upgrade/Install	20	19	1	3067	SF	\$2.63	\$8,063		\$8,063																				\$8,063			
G2031	1152562 Pedestrian Pavement, Sidewalk, Clay Brick/Masonry Pavers, Replace	30	10	20	1000	SF	\$38.00	\$37,997																				\$37,997		\$37,997			
Z105X	1157153 ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$8,355.00	\$8,355	\$8,355																					\$8,355			
Totals, Unescalated									\$67,058	\$12,096	\$0	\$11,099	\$5,492	\$12,094	\$0	\$0	\$2,332	\$0	\$11,357	\$0	\$5,492	\$2,135	\$0	\$33,451	\$0	\$0	\$0	\$0	\$79,530	\$242,135			
Totals, Escalated (3.0% inflation, compounded annually)									\$67,058	\$12,459	\$0	\$12,128	\$6,181	\$14,020	\$0	\$0	\$2,953	\$0	\$15,263	\$0	\$7,830	\$3,136	\$0	\$52,115	\$0	\$0	\$0	\$0	\$0	\$0	\$143,640		\$336,784

* Markup/LocationFactor (1.114) has been included in unit costs.

Library

Uniformat CodeID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
B1015	1153259 Exterior Stairs, Metal, Refinish	10	10	0	250	SF	\$1.60	\$401	\$401										\$401									\$401		\$1,203	
B1015	1153271 Exterior Stairs, Concrete, Replace	50	35	15	80	SF	\$54.52	\$4,362															\$4,362							\$4,362	
B1015	1153304 Exterior Stairs, Metal, Replace	40	21	19	250	SF	\$49.61	\$12,402																			\$12,402			\$12,402	
B2011	1153238 Exterior Wall, Insulated Finishing System (EIFS), 3+ Stories, Refinish	10	7	3	1500	SF	\$6.26	\$9,385				\$9,385										\$9,385								\$18,770	
B2011	1153255 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	10	0	10	900	SF	\$4.26	\$3,835											\$3,835								\$3,835			\$6,670	
B2021	1153273 Window, 24 SF, Restore	30	27	3	9	EA	\$3,676.20	\$33,086				\$33,086																		\$33,086	
B2021	1153286 Window, SF, Replace	30	15	15	22	EA	\$969.68	\$21,333																\$21,333						\$21,333	
B2022	1153278 Curtain Wall, Aluminum-Framed System w/ Glazing, Replace	30	15	15	300	SF	\$112.98	\$33,893																\$33,893						\$33,893	
B2023	1153301 Storefront, Metal-Framed Windows w/out Door(s), Replace	30	15	15	400	SF	\$53.47	\$21,389																\$21,389						\$21,389	
B2031	1153235 Exterior Door, Fully-Glazed Aluminum-Framed Swinging, Replace	30	21	9	3	EA	\$2,346.72	\$7,040											\$7,040											\$7,040	
B2031	1153252 Exterior Door, Fully-Glazed Aluminum-Framed Swinging, Replace	30	21	9	1	EA	\$2,346.72	\$2,347											\$2,347											\$2,347	
B2032	1153284 Exterior Door, Steel Insulated, Replace	25	24	1	2	EA	\$1,757.37	\$3,515		\$3,515																				\$3,515	
B2032	1153288 Exterior Door, Steel Insulated, Replace	25	15	10	1	EA	\$1,757.37	\$1,757											\$1,757											\$1,757	
B2032	1153295 Exterior Door, Wood Solid-Core w/ Safety Glass, Replace	25	15	10	1	EA	\$2,147.83	\$2,148											\$2,148											\$2,148	
B3011	1153262 Roof, Clay/Concrete Tile, Repair	0	-1	1	400	SF	\$25.43	\$10,173	\$10,173																						\$10,173
B3011	1153244 Roof, Single-Ply EPDM Membrane, Replace	20	16	4	1150	SF	\$11.72	\$13,477					\$13,477																	\$13,477	
B3011	1153294 Roof, Asphalt Shingle Premium Grade, Replace	30	21	9	2700	SF	\$5.61	\$15,159											\$15,159											\$15,159	
B3011	1153277 Roof, Slate, Replace	50	35	15	3850	SF	\$72.41	\$278,779																\$278,779						\$278,779	
B3021	1153276 Roof Skylight, Plexiglass Dome Fixed 9-20 SF, Replace	30	21	9	1	EA	\$1,344.82	\$1,345											\$1,345											\$1,345	
C1021	1153257 Interior Door, Wood Solid-Core, Replace	20	10	10	17	EA	\$1,585.34	\$26,951											\$26,951											\$26,951	
C1021	1153243 Interior Door, Wood Solid-Core, Replace	20	5	15	1	EA	\$1,585.34	\$1,585																\$1,585						\$1,585	
C3012	1153246 Interior Wall Finish, Generic Surface, Prep & Paint	8	3	5	19230	SF	\$1.62	\$31,062					\$31,062									\$31,062								\$62,124	
C3024	1153305 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	12	3	220	SF	\$5.3																								

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
C3025	1153275	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	7	3	500	SF	\$8.09	\$4,044				\$4,044										\$4,044									\$8,088
C3025	1153249	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	4	6	3000	SF	\$8.09	\$24,263						\$24,263										\$24,263							\$48,526
C3025	1153260	Interior Floor Finish, Carpet Tile Commercial-Grade, Replace	10	2	8	6600	SF	\$7.75	\$51,173									\$51,173									\$51,173				\$102,345	
C3031	1153298	Interior Ceiling Finish, Gypsum Board/Plaster, Repair	0	-1	1	400	SF	\$8.15	\$3,262		\$3,262																				\$3,262	
C3031	1153254	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	10	7	3	9640	SF	\$2.53	\$24,377				\$24,377										\$24,377								\$48,755	
C3032	1153289	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	10	10	4100	SF	\$3.46	\$14,205											\$14,205											\$14,205	
D1011	1153240	Elevator Controls, 1 Car Cluster, Modernize	20	17	3	1	EA	\$12,863.64	\$12,864				\$12,864																		\$12,864	
D1011	1153282	Elevator, 2500 LB, Renovate	30	21	9	1	EA	\$160,958.74	\$160,959										\$160,959												\$160,959	
D2011	1153251	Toilet, Tankless (Water Closet), Replace	20	10	10	3	EA	\$939.07	\$2,817											\$2,817											\$2,817	
D2014	1153248	Sink/Lavatory, Stainless Steel, Replace	20	15	5	2	EA	\$1,174.21	\$2,348					\$2,348																	\$2,348	
D2014	1153292	Sink/Lavatory, Vitreous China, Replace	20	10	10	3	EA	\$959.72	\$2,879											\$2,879											\$2,879	
D2014	1153266	Service Sink, Floor, Replace	35	21	14	2	EA	\$1,781.85	\$3,564														\$3,564								\$3,564	
D2018	1153307	Drinking Fountain, Refrigerated, Replace	10	5	5	1	EA	\$1,400.87	\$1,401					\$1,401											\$1,401						\$2,802	
D2023	1153265	Water Heater, 19 GAL, Replace	15	5	10	1	EA	\$1,392.41	\$1,392											\$1,392											\$1,392	
D2029	1174975	Plumbing System, Domestic Supply & Sanitary, Office Building, Upgrade	40	22	18	4000	SF	\$15.50	\$61,983																		\$61,983				\$61,983	
D3021	1153239	Boiler, 199 MBH, Replace	25	18	7	1	EA	\$16,016.56	\$16,017									\$16,017													\$16,017	
D3021	1153269	Boiler, 199 MBH, Replace	25	18	7	1	EA	\$16,016.56	\$16,017									\$16,017													\$16,017	
D3031	1153306	Chiller, 20 TON, Replace	25	21	4	1	EA	\$54,946.68	\$54,947				\$54,947																		\$54,947	
D3032	1153256	Condensing Unit/Heat Pump, 4 TON, Replace	15	14	1	1	EA	\$5,146.48	\$5,146		\$5,146															\$5,146					\$10,293	
D3032	1153268	Ductless Split System, 1 TON, Replace	15	14	1	1	EA	\$3,588.44	\$3,588		\$3,588															\$3,588					\$7,177	
D3032	1153285	Ductless Split System, 1 TON, Replace	15	14	1	1	EA	\$3,588.44	\$3,588		\$3,588															\$3,588					\$7,177	
D3032	1153261	Condensing Unit/Heat Pump, 5 TON, Replace	15	3	12	1	EA	\$7,173.95	\$7,174													\$7,174									\$7,174	
D3032	1153270	Condensing Unit/Heat Pump, 2.5 TON, Replace	15	3	12	1	EA	\$3,750.13	\$3,750													\$3,750									\$3,750	
D3041	1153274	Air Handler, 500 CFM, Replace	20	17	3	5	EA	\$3,733.94	\$18,670				\$18,670																		\$18,670	
D3052	1153241	Packaged Unit (RTU), 6 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3052	1153293	Packaged Unit (RTU), 6 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3052	1153263	Packaged Unit (RTU), 6 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3052	1153296	Packaged Unit (RTU), 6 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3052	1153291	Packaged Unit (RTU), 7.5 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3052	1153287	Packaged Unit (RTU), 7.5 Ton, Replace	15	2	13	1	EA	\$16,036.95	\$16,037														\$16,037								\$16,037	
D3068	1153236	HVAC Controls, Building Automation System (BAS), Upgrade	20	17	3	13736	SF	\$5.97	\$82,018				\$82,018																		\$82,018	
D4011	1153300	Backflow Preventer, 4 INCH, Replace	20	17	3	1	EA	\$6,685.58	\$6,686				\$6,686																		\$6,686	
D4019	1153303	Sprinkler Heads (per SF), , Replace	20	10	10	13736	SF	\$1.48	\$20,352											\$20,352											\$20,352	
D5012	1153247	Switchboard, 800 AMP, Replace	30	10	20	1	EA	\$27,591.62	\$27,592																			\$27,592			\$27,592	
D5019	1153267	Electrical Distribution System, Office Building, Upgrade	40	21	19	13736	SF	\$30.36	\$416,977																			\$416,977			\$416,977	
D5022	1153253	Incandescent Lighting Fixture, 200 WATT, Replace	20	15	5	4	EA	\$553.77	\$2,215					\$2,215																	\$2,215	
D5022	1153299	LED Lighting Fixture, 20 WATT, Replace	20	3	17	5	EA	\$200.73	\$1,004																	\$1,004					\$1,004	
D5029	1153302	Lighting System, Interior, School, Upgrade	25	17	8	13736	SF	\$17.11	\$235,037									\$235,037													\$235,037	
D5037	1153237	Fire Alarm Control Panel, Addressable, Replace	15	5	10	1	EA	\$22,611.52	\$22,612											\$22,612											\$22,612	
D5037	1153281	Fire Alarm System, School, Upgrade/Install	20	5	15	13736	SF	\$3.49	\$47,895															\$47,895							\$47,895	
D5092	1153290	Emergency Lighting System, Modernize	10	7	3	13736	SF	\$0.63	\$8,722				\$8,722									\$8,722									\$17,444	
G2022	1174977	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	3900	SF	\$0.42	\$1,651				\$1,651					\$1,651									\$1,651				\$6,604	
G2022	1174976	Parking Lots, Asphalt Pavement, Mill & Overlay	25	15	10	3900	SF	\$3.65	\$14,250										\$14,250												\$14,250	
G2031	1153242	Pedestrian Pavement, Sidewalk, Clay Brick/Masonry Pavers, Replace	30	19	11	1700	SF	\$38.00	\$64,595												\$64,595										\$64,595	
G2031	1153279	Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace	30	15	15	750	SF	\$10.03	\$7,520															\$7,520							\$7,520	
G2041	1153258	Fences & Gates, Wrought Iron, 4' High, Replace	30	27	3	200	LF	\$40.18	\$8,036				\$8,036																		\$8,036	
G2041	1153272	Fences & Gates, Painted Surface, Prep & Paint	10	7	3	1500	SF	\$3.20	\$4,796				\$4,796									\$4,796									\$9,592	
G2042	1153245	Retaining Wall, Concrete Masonry Unit (per SF Face), Replace	40	21	19	420	SF	\$60.20	\$25,285																			\$25,285			\$25,285	
G4021	1153283	Walkway Bollard Light, 100 WATT, Replace/Install	20	17	3	1	EA	\$1,664.45	\$1,664				\$1,664																		\$1,664	
P000X	1153308	Engineer, HVAC System, Controls Re-Balance, Evaluate/Report	0	0	0	1	EA	\$5,570.00	\$5,570	\$5,570																					\$5,570	
Totals, Unescalated										\$5,971	\$29,273	\$0	\$217,175	\$68,424	\$37,027	\$24,263	\$32,033	\$293,743	\$186,850	\$119,481	\$64,595	\$10,924	\$180,259	\$3,564	\$418,156	\$36,586	\$1,004	\$115,983	\$454,663	\$31,828</		

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
B2011	1153070	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	25	24	1	300	SF	\$45.99	\$13,797		\$13,797																				\$13,797
B2021	1153075	Window, SF, Replace	30	27	3	16	EA	\$801.92	\$12,831				\$12,831																		\$12,831
B2021	1153059	Window, 12 SF, Replace	30	10	20	8	EA	\$618.92	\$4,951																				\$4,951	\$4,951	
B2032	1153068	Exterior Door, Steel Insulated, Replace	25	20	5	3	EA	\$1,757.37	\$5,272					\$5,272																	\$5,272
B2032	1153079	Exterior Door, Steel Insulated, Replace	25	10	15	2	EA	\$1,757.37	\$3,515															\$3,515							\$3,515
B2034	1153072	Overhead Door, Aluminum Roll-Up 400 SF, Replace	35	20	15	1	EA	\$10,113.55	\$10,114															\$10,114							\$10,114
B2034	1153069	Overhead Door, Aluminum Roll-Up 144 SF, Replace	35	20	15	2	EA	\$4,484.45	\$8,969															\$8,969							\$8,969
B3011	1153088	Roof, Asphalt Shingle, Replace	20	10	10	4000	SF	\$3.81	\$15,240											\$15,240											\$15,240
C1021	1153078	Interior Door, Wood Hollow-Core, Replace	20	15	5	9	EA	\$664.52	\$5,981					\$5,981																	\$5,981
C1021	1153062	Interior Door, Steel, Replace	25	5	20	1	EA	\$1,058.43	\$1,058																				\$1,058	\$1,058	
C2011	1153083	Interior Stairs, Wood, Replace	30	18	12	180	SF	\$50.23	\$9,042												\$9,042										\$9,042
C3012	1153097	Interior Wall Finish, Generic Surface, Prep & Paint	8	5	3	2000	SF	\$1.62	\$3,231				\$3,231								\$3,231							\$3,231			\$9,692
C3024	1153081	Interior Floor Finish, Vinyl Sheeting, Replace	15	14	1	100	SF	\$7.81	\$781		\$781															\$781					\$1,562
C3024	1153086	Interior Floor Finish, Ceramic Tile, Replace	50	34	16	120	SF	\$17.56	\$2,107																	\$2,107					\$2,107
C3025	1153057	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	7	3	1000	SF	\$8.09	\$8,088				\$8,088									\$8,088									\$16,175
C3031	1153084	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	10	7	3	3000	SF	\$2.53	\$7,586				\$7,586									\$7,586									\$15,173
C3032	1153063	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	15	5	1600	SF	\$3.46	\$5,543					\$5,543																	\$5,543
D2011	1153065	Toilet, Flush Tank (Water Closet), Replace	20	10	10	3	EA	\$1,175.44	\$3,526											\$3,526											\$3,526
D2014	1153058	Sink/Lavatory, Stainless Steel, Replace	20	12	8	1	EA	\$1,174.21	\$1,174								\$1,174														\$1,174
D2014	1153071	Sink/Lavatory, Vitreous China, Replace	20	10	10	3	EA	\$959.72	\$2,879											\$2,879											\$2,879
D2017	1153060	Shower, Ceramic Tile, Replace	30	25	5	1	EA	\$2,209.93	\$2,210					\$2,210																	\$2,210
D2017	1153067	Shower, Fiberglass, Replace	20	10	10	1	EA	\$2,895.78	\$2,896											\$2,896											\$2,896
D2023	1153064	Water Heater, 50 GAL, Replace	15	6	9	1	EA	\$1,937.13	\$1,937										\$1,937												\$1,937
D2029	1174973	Plumbing System, Domestic Supply & Sanitary, Office Building, Upgrade	40	25	15	1000	SF	\$15.50	\$15,496															\$15,496							\$15,496
D3011	1153095	Fuel Storage Tank, 250 GAL, Replace	25	20	5	1	EA	\$2,632.96	\$2,633					\$2,633																	\$2,633
D3041	1153089	HVAC System Ductwork, Sheet Metal, Replace	30	30	0	100	SF	\$16.71	\$1,671	\$1,671																					\$1,671
D3042	1153077	Exhaust Fan, 1500 CFM, Replace	15	8	7	1	EA	\$2,967.90	\$2,968							\$2,968															\$2,968
D3051	1153092	Baseboard Heater, 1500 WATTS, Replace	25	20	5	4	EA	\$266.89	\$1,068					\$1,068																	\$1,068
D3051	1153085	Furnace, 194 MBH, Replace	20	3	17	1	EA	\$10,302.36	\$10,302																	\$10,302					\$10,302
D5019	1153061	Load Center, 200 AMP, Replace	30	25	5	1	EA	\$8,807.51	\$8,808					\$8,808																	\$8,808
D5019	1174974	Electrical Distribution System, Office Building, Upgrade	40	25	15	5000	SF	\$30.36	\$151,783														\$151,783								\$151,783
D5022	1153082	Flood Light, Exterior, 100 W, Replace	20	15	5	1	EA	\$1,108.95	\$1,109					\$1,109																	\$1,109
D5029	1153094	Lighting System, Interior, Multi-Family, Upgrade	25	24	1	2000	SF	\$5.27	\$10,538		\$10,538																				\$10,538
D5029	1153073	Lighting System, Interior, Office Building, Upgrade	25	10	15	3000	SF	\$10.29	\$30,880															\$30,880							\$30,880
D5037	1153076	Fire Alarm Control Panel, Multiplex, Replace	15	15	0	1	EA	\$4,772.77	\$4,773	\$4,773													\$4,773								\$9,546
D5037	1153091	Fire Alarm System, Office Building, Upgrade/Install	20	20	0	5000	SF	\$2.63	\$13,145	\$13,145																			\$13,145	\$26,290	
E1031	1153087	Garage Door Opener, Belt Drive, 0.5 HP, Replace	15	10	5	2	EA	\$578.20	\$1,156					\$1,156															\$1,156	\$2,313	
E1094	1153080	Residential Fixtures, Ceiling Fan, Replace	15	10	5	6	EA	\$394.48	\$2,367					\$2,367															\$2,367	\$4,734	
G2022	1174972	Parking Lots, Asphalt Pavement, Seal & Stripe	5	5	0	10000	SF	\$0.42	\$4,233	\$4,233				\$4,233						\$4,233								\$4,233	\$4,233	\$21,166	
G2022	1153066	Parking Lots, Asphalt Pavement, Mill & Overlay	25	24	1	5000	SF	\$3.65	\$18,270		\$18,270																				\$18,270
G2022	1153093	Parking Lots, Asphalt Pavement, Mill & Overlay	25	5	20	5000	SF	\$3.65	\$18,270																			\$18,270	\$18,270	\$18,270	
Z105X	1157154	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$8,355.00	\$8,355	\$8,355																					\$8,355
Totals, Unescalated										\$35,106	\$48,033	\$0	\$31,735	\$0	\$40,379	\$0	\$2,968	\$1,174	\$1,937	\$28,774	\$5,469	\$9,042	\$15,674	\$0	\$229,761	\$2,888	\$10,302	\$0	\$3,231	\$45,181	\$511,656
Totals, Escalated (3.0% inflation, compounded annually)										\$35,106	\$49,474	\$0	\$34,678	\$0	\$46,811	\$0	\$3,650	\$1,487	\$2,528	\$38,670	\$7,571	\$12,892	\$23,018	\$0	\$357,961	\$4,634	\$17,028	\$0	\$5,665	\$81,602	\$722,774

* Markup/LocationFactor (1.114) has been included in unit costs.

Police & Annex

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
B1015	1153164	Exterior Stairs, Concrete, Repair	0	0	0	100	SF	\$4.32	\$432	\$432																					\$432
B1015	1153151	Exterior Stairs, Clay Brick, Replace	50	40	10	50	SF	\$39.26	\$1,963											\$1,963											\$1,963
B2011	1153143	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	25	24	1	350	SF	\$45.99	\$16,096		\$16,096																				\$16,096
B2011	1153179	Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	10	9	1	1200	SF	\$3.20	\$3,838		\$3,838										\$3,838										\$7,675
B2011	1153136	Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Replace	20	17	3	350	SF	\$30.11	\$10,537				\$10,537																		\$10,537
B2021	1153163	Window, SF, Replace	30	29	1	2	EA	\$3,868.63	\$7,737		\$7,737		</																		

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
B2034	1153127	Overhead Door, Aluminum Roll-Up 144 SF, Replace	35	15	20	2	EA	\$4,484.45	\$8,969																						\$8,969	\$8,969		
B3011	1153135	Roof, Single-Ply EPDM Membrane, Replace	20	1	19	1400	SF	\$11.72	\$16,407																						\$16,407	\$16,407		
C1021	1153146	Interior Door, Wood Solid-Core, Replace	20	5	15	18	EA	\$1,585.34	\$28,536															\$28,536								\$28,536		
C1021	1153145	Interior Door, Steel, Replace	25	10	15	10	EA	\$1,058.43	\$10,584															\$10,584								\$10,584		
C1031	1153141	Toilet Partitions, Metal Overhead-Braced, Replace	20	15	5	1	EA	\$946.90	\$947						\$947																	\$947		
C3012	1153171	Interior Wall Finish, Generic Surface, Prep & Paint	8	3	5	14500	SF	\$1.62	\$23,422						\$23,422								\$23,422									\$46,844		
C3024	1153132	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	14	1	500	SF	\$5.35	\$2,674		\$2,674															\$2,674						\$5,347		
C3024	1153133	Interior Floor Finish, Rubber Tile, Replace	15	5	10	1700	SF	\$9.39	\$15,965											\$15,965													\$15,965	
C3024	1153129	Interior Floor Finish, Rubber Tile, Replace	15	0	15	1200	SF	\$9.39	\$11,269															\$11,269									\$11,269	
C3025	1153172	Interior Floor Finish, Carpet Tile Commercial-Grade, Replace	10	5	5	1200	SF	\$7.75	\$9,304						\$9,304									\$9,304								\$18,608		
C3031	1153173	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	10	5	5	1000	SF	\$2.53	\$2,529						\$2,529										\$2,529								\$5,058	
C3032	1153160	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	8	12	800	SF	\$3.46	\$2,772													\$2,772											\$2,772	
D2011	1153177	Toilet, Flush Tank (Water Closet), Replace	20	10	10	4	EA	\$1,175.44	\$4,702											\$4,702													\$4,702	
D2012	1153158	Urinal, Vitreous China, Replace	20	5	15	2	EA	\$1,329.49	\$2,659															\$2,659									\$2,659	
D2014	1153134	Sink/Lavatory, Vitreous China, Replace	20	10	10	4	EA	\$959.72	\$3,839															\$3,839									\$3,839	
D2014	1153152	Sink/Lavatory, Stainless Steel, Replace	20	10	10	1	EA	\$1,174.21	\$1,174															\$1,174									\$1,174	
D2014	1153168	Service Sink, Floor, Replace	35	15	20	1	EA	\$1,781.85	\$1,782																				\$1,782				\$1,782	
D2017	1153137	Shower, Fiberglass, Replace	20	5	15	2	EA	\$2,895.78	\$5,792															\$5,792									\$5,792	
D2023	1153175	Water Heater, 80 GAL, Replace	15	12	3	1	EA	\$3,272.26	\$3,272				\$3,272															\$3,272					\$6,545	
D2034	1153170	Sewage Ejector Pump, 1 HP, Replace	15	0	15	1	EA	\$3,334.83	\$3,335															\$3,335									\$3,335	
D2043	1153169	Sump Pump, .3 HP, Replace	15	0	15	1	EA	\$2,297.97	\$2,298															\$2,298									\$2,298	
D3032	1153131	Ductless Split System, 0.75 TON, Replace	15	11	4	1	EA	\$3,588.44	\$3,588					\$3,588															\$3,588				\$7,177	
D3032	1153130	Ductless Split System, 1 TON, Replace	15	11	4	1	EA	\$3,588.44	\$3,588				\$3,588																\$3,588				\$7,177	
D3032	1153180	Ductless Split System, 1 TON, Replace	15	5	10	1	EA	\$3,588.44	\$3,588											\$3,588													\$3,588	
D3032	1153157	Ductless Split System, 2, Replace	15	5	10	1	EA	\$3,986.69	\$3,987											\$3,987													\$3,987	
D3032	1153165	Ductless Split System, Single Zone, 2 Ton, Replace	15	4	11	1	EA	\$4,983.04	\$4,983												\$4,983												\$4,983	
D3032	1153144	Ductless Split System, Single Zone, 1 Ton, Replace	15	2	13	1	EA	\$3,588.44	\$3,588														\$3,588										\$3,588	
D3032	1153148	Ductless Split System, 3, Replace	15	1	14	1	EA	\$3,986.69	\$3,987														\$3,987										\$3,987	
D3032	1153154	Ductless Split System, 1.5, Replace	15	1	14	1	EA	\$3,986.69	\$3,987														\$3,987										\$3,987	
D3042	1153139	Exhaust Fan, 500 CFM, Replace	15	10	5	1	EA	\$2,252.36	\$2,252						\$2,252														\$2,252				\$4,505	
D3042	1153138	Exhaust Fan, 500 CFM, Replace	15	10	5	1	EA	\$2,252.36	\$2,252						\$2,252														\$2,252				\$4,505	
D3042	1153147	Exhaust Fan, 500 CFM, Replace	15	10	5	1	EA	\$2,252.36	\$2,252						\$2,252														\$2,252				\$4,505	
D3051	1153162	Air Conditioner, 1 TON, Replace	10	5	5	3	EA	\$2,225.57	\$6,677						\$6,677									\$6,677									\$13,353	
D3051	1153140	Unit Heater, 5 kW, Replace	20	10	10	1	EA	\$1,940.11	\$1,940											\$1,940													\$1,940	
D5012	1153166	Transfer Switch, 400 AMP, Replace	18	1	17	1	EA	\$18,178.58	\$18,179																		\$18,179						\$18,179	
D5029	1174950	Lighting System, Interior, Office Building, Upgrade	25	9	16	9097	SF	\$10.29	\$93,639																\$93,639								\$93,639	
D5037	1153161	Fire Alarm Control Panel, Addressable, Replace	15	14	1	1	EA	\$22,611.52	\$22,612		\$22,612															\$22,612							\$45,223	
D5037	1153156	Fire Alarm System, Office Building, Upgrade/Install	20	19	1	9097	SF	\$2.63	\$23,916		\$23,916																						\$23,916	
G2022	1153153	Parking Lots, Asphalt Pavement, Mill & Overlay	25	24	1	10800	SF	\$3.65	\$39,462		\$39,462																						\$39,462	
G2022	1153159	Parking Lots, Asphalt Pavement, Seal & Stripe	5	0	5	10800	SF	\$0.42	\$4,572						\$4,572					\$4,572					\$4,572				\$4,572				\$18,287	
Z105X	1157157	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$8,355.00	\$8,355	\$8,355																							\$8,355	
Totals, Unescalated										\$8,787	\$117,920	\$0	\$13,810	\$7,177	\$54,207	\$0	\$0	\$802	\$0	\$44,905	\$8,821	\$2,772	\$27,010	\$7,973	\$87,555	\$135,408	\$18,179	\$3,272	\$23,584	\$22,080		\$584,261		
Totals, Escalated (3.0% inflation, compounded annually)										\$8,787	\$121,458	\$0	\$15,090	\$8,078	\$62,841	\$0	\$0	\$1,016	\$0	\$60,348	\$12,210	\$3,952	\$39,666	\$12,060	\$136,407	\$217,291	\$30,046	\$5,571	\$41,354	\$39,878				\$816,053

* Markup/LocationFactor (1.114) has been included in unit costs.

Town Hall

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate		
B1015	1152061	Exterior Stairs, Concrete, Repair	0	0	0	600	SF	\$4.32	\$2,593	\$2,593																							\$2,593
B1015	1152067	Exterior Stair/Ramp Rails, Metal, Refinish	10	4	6	350	LF	\$1.60	\$561						\$561											\$561							\$1,123
B2011	1152071	Exterior Wall, Brick or Brick Veneer, 3+ Stories, Repoint	25	24	1	500	SF	\$50.63	\$25,315		\$25,315																						\$25,315
B2011	1152090	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	10	4	6	2500	SF	\$4.26	\$10,653						\$10,653											\$10,653							\$21,306
B2011	1152084	Exterior Wall, Insulated Finishing System (EIFS), 1-2 Stories, Refinish	10	4	6	300	SF	\$4.65	\$1,39																								

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate		
C1021	1152053	Interior Door, Wood Solid-Core, Replace	20	5	15	60	EA	\$1,585.34	\$95,121																						\$95,121	\$95,121	
C1031	1152064	Toilet Partitions, Metal Overhead-Braced, Replace	20	10	10	13	EA	\$946.90	\$12,310											\$12,310												\$12,310	
C3012	1152020	Interior Wall Finish, Generic Surface, Prep & Paint	8	4	4	77300	SF	\$1.62	\$124,863				\$124,863									\$124,863									\$124,863	\$374,588	
C3012	1152029	Interior Wall Finish, Quarry Tile, Replace	40	20	20	7560	SF	\$27.07	\$204,651																					\$204,651	\$204,651		
C3024	1152079	Interior Floor Finish, Rubber Tile, Replace	15	10	5	3600	SF	\$9.39	\$33,808					\$33,808																\$33,808	\$67,615		
C3024	1152051	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	9	6	2400	SF	\$5.35	\$12,833						\$12,833																	\$12,833	
C3024	1152056	Interior Floor Finish, Maple Sports Floor, Replace	30	18	12	3500	SF	\$11.42	\$39,965												\$39,965											\$39,965	
C3024	1152055	Interior Floor Finish, Terrazzo, Replace	50	30	20	2000	SF	\$13.43	\$26,870																					\$26,870	\$26,870		
C3025	1152033	Interior Floor Finish, Carpet Tile Commercial-Grade, Replace	10	5	5	40000	SF	\$7.75	\$310,138					\$310,138											\$310,138						\$310,138	\$620,275	
C3031	1152031	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	10	5	5	24500	SF	\$2.53	\$61,955					\$61,955											\$61,955							\$61,955	\$123,910
C3032	1152058	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	11	9	3500	SF	\$3.46	\$12,126										\$12,126													\$12,126	
C3032	1152019	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	8	12	25000	SF	\$3.46	\$86,614													\$86,614										\$86,614	
D1011	1152045	Elevator Controls, 1 Car Cluster, Modernize	20	17	3	1	EA	\$12,863.64	\$12,864				\$12,864																			\$12,864	
D1011	1152015	Elevator, 1500 - 2500 LB, Renovate	30	25	5	1	EA	\$160,958.74	\$160,959					\$160,959																		\$160,959	
D1013	1152057	Wheelchair Lift, , Renovate	25	25	0	1	EA	\$18,551.21	\$18,551	\$18,551																							\$18,551
D2011	1152076	Toilet, Flush Tank (Water Closet), Replace	20	10	10	11	EA	\$1,175.44	\$12,930											\$12,930												\$12,930	
D2012	1152063	Urinal, Vitreous China, Replace	20	10	10	2	EA	\$1,329.49	\$2,659											\$2,659												\$2,659	
D2014	1152068	Sink/Lavatory, Stainless Steel, Replace	20	10	10	2	EA	\$1,174.21	\$2,348											\$2,348												\$2,348	
D2014	1152092	Service Sink, Floor, Replace	35	17	18	3	EA	\$1,781.85	\$5,346																		\$5,346					\$5,346	
D2014	1152077	Sink/Lavatory, Vitreous China, Replace	20	0	20	11	EA	\$959.72	\$10,557																			\$10,557				\$10,557	
D2018	1152039	Drinking Fountain, Refrigerated, Replace	10	3	7	3	EA	\$1,400.87	\$4,203							\$4,203										\$4,203						\$4,203	
D2023	1152044	Water Heater, 74 GAL, Replace	15	9	6	1	EA	\$11,918.49	\$11,918						\$11,918																	\$11,918	
D3016	1174958	Solar Panel, 24 SF, Replace	15	4	11	150	EA	\$1,820.35	\$273,053												\$273,053											\$273,053	
D3021	1152037	Boiler, 1500 MBH, Replace	25	17	8	1	EA	\$51,762.47	\$51,762									\$51,762															\$51,762
D3022	1152041	Expansion Tank, 100 GAL, Replace	25	13	12	1	EA	\$3,619.99	\$3,620													\$3,620											\$3,620
D3032	1152032	Condensing Unit/Heat Pump, 2 TON, Replace	15	14	1	1	EA	\$3,478.11	\$3,478	\$3,478																\$3,478						\$3,478	
D3032	1152012	Condensing Unit/Heat Pump, 5 TON, Replace	15	12	3	1	EA	\$7,173.95	\$7,174				\$7,174															\$7,174				\$7,174	
D3032	1152028	Condensing Unit/Heat Pump, 10 TON, Replace	15	11	4	1	EA	\$17,629.36	\$17,629				\$17,629															\$17,629				\$17,629	
D3032	1152038	Ductless Split System, 1 TON, Replace	15	7	8	1	EA	\$3,588.44	\$3,588								\$3,588															\$3,588	
D3041	1152042	Air Handler, 4000 CFM, Replace	20	17	3	1	EA	\$14,895.83	\$14,896				\$14,896																			\$14,896	
D3041	1152016	Air Handler, 2000 CFM, Replace	20	17	3	1	EA	\$14,895.83	\$14,896				\$14,896																			\$14,896	
D3041	1152066	HVAC System Ductwork, Sheet Metal, Replace	30	15	15	53006	SF	\$16.71	\$885,730																\$885,730							\$885,730	
D3042	1152043	Exhaust Fan, 2500 CFM, Replace	15	12	3	1	EA	\$3,423.08	\$3,423				\$3,423														\$3,423					\$3,423	
D3042	1152048	Exhaust Fan, 250 CFM, Replace	15	9	6	1	EA	\$991.35	\$991						\$991																	\$991	
D3042	1152024	Exhaust Fan, 250 CFM, Replace	15	9	6	1	EA	\$1,670.48	\$1,670						\$1,670																	\$1,670	
D3042	1152017	Exhaust Fan, 300 CFM, Replace	15	1	14	1	EA	\$1,670.48	\$1,670													\$1,670										\$1,670	
D3044	1152022	Distribution Pump, 2 HP, Replace	20	17	3	1	EA	\$5,182.65	\$5,183				\$5,183																			\$5,183	
D3044	1152014	Distribution Pump, 2 HP, Replace	20	17	3	1	EA	\$5,182.65	\$5,183				\$5,183																			\$5,183	
D3049	1152080	HVAC System Hydronic Piping, 2-Pipe, Replace	30	15	15	53006	SF	\$7.24	\$383,816																\$383,816							\$383,816	
D3052	1152018	Packaged Unit (RTU), 20 Ton, Replace	15	3	12	1	EA	\$40,969.99	\$40,970												\$40,970											\$40,970	
D3052	1152013	Packaged Unit (RTU), 25 Ton, Replace	15	3	12	1	EA	\$49,436.76	\$49,437												\$49,437											\$49,437	
D3052	1152036	Packaged Unit (RTU), 2 Ton, Replace	15	1	14	1	EA	\$8,085.09	\$8,085														\$8,085									\$8,085	
D3052	1152035	Packaged Unit (RTU), 6 Ton, Replace	15	1	14	1	EA	\$16,036.95	\$16,037													\$16,037										\$16,037	
D3052	1152040	Packaged Unit (RTU), 6 Ton, Replace	15	1	14	1	EA	\$16,036.95	\$16,037													\$16,037										\$16,037	
D4011	1152023	Backflow Preventer, 4 INCH, Replace	20	17	3	1	EA	\$6,685.58	\$6,686				\$6,686																			\$6,686	
D4019	1152049	Sprinkler Heads (per SF), , Replace	20	10	10	53006	SF	\$1.48	\$78,535											\$78,535												\$78,535	
D5012	1152034	Transfer Switch, 400 AMP, Replace	18	11	7	1	EA	\$13,418.97	\$13,419							\$13,419																\$13,419	
D5012	1152026	Distribution Panel, 600 AMP, Replace	30	23	7	1	EA	\$13,394.54	\$13,395							\$13,395																\$13,395	
D5012	1152030	Switchboard, 1200 AMP, Replace	30	19	11	1	EA	\$32,756.46	\$32,756												\$32,756											\$32,756	
D5022	1152050	LED Lighting Fixture, 11 WATT, Replace	20	4	16	2	EA	\$200.73	\$401																\$401							\$401	
D5022	1152091																																

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate					
G2031	1152078	Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace	30	17	13	2000	SF	\$10.03	\$20,052														\$20,052									\$20,052				
G2031	1152070	Pedestrian Pavement, Sidewalk, Clay Brick/Masonry Pavers, Replace	30	10	20	600	SF	\$38.00	\$22,798																						\$22,798	\$22,798				
G2041	1152082	Fences & Gates, Wood Board, Replace	30	19	11	300	SF	\$6.81	\$2,042												\$2,042											\$2,042				
G4021	1152052	Pole Light, 135 WATT, Replace/Install	20	3	17	10	EA	\$5,158.29	\$51,583																		\$51,583					\$51,583				
Z102X	1152011	ADA, Elevator/Lift, Emergency Communication System, Cab, Renovate	0	0	0	1	EA	\$11,140.00	\$11,140	\$11,140																						\$11,140				
Z105X	1157158	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$8,355.00	\$8,355	\$8,355																						\$8,355				
Totals, Unescalated										\$71,539	\$28,793	\$11,514	\$501,741	\$142,492	\$610,974	\$40,022	\$141,917	\$213,001	\$12,126	\$675,402	\$307,852	\$379,027	\$38,826	\$41,829	\$1,843,734	\$17,091	\$67,300	\$15,943	\$17,629	\$430,764			\$5,609,515			
Totals, Escalated (3.0% inflation, compounded annually)										\$71,539	\$29,657	\$12,216	\$548,266	\$160,376	\$708,286	\$47,789	\$174,540	\$269,823	\$15,822	\$907,683	\$426,138	\$540,401	\$57,017	\$63,271	\$2,872,477	\$27,425	\$111,236	\$27,141	\$30,913	\$778,008						\$7,880,025

* Markup/LocationFactor (1.114) has been included in unit costs.

Appendix G: Equipment Inventory List

D10 CONVEYING												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1152015	D1011	Elevator	1500 - 2500 LB	Town Hall	Utility closet	Otis	No tag/plate found	No tag/plate found	1990	00119914	
2	1153282	D1011	Elevator	2500 LB	Library	Elevator	OLS	808-3-216-25-A1	69702104	1998	00248811	
3	1152045	D1011	Elevator Controls	1 Car Cluster	Town Hall	Utility closet	Otis	No tag	Illegible	1990	00119914	
4	1153240	D1011	Elevator Controls	1 Car Cluster	Library	Elevator	Beckwitn	No tag	No tag	1998	00248836	
5	1152057	D1013	Wheelchair Lift		Town Hall	Gymnasium	Garaventa	No tag		2001	00119864	
D20 PLUMBING												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1152989	D2021	Backflow Preventer	1.25 INCH	Ipswich Fire	Basement	Watts	009 M2 QT	47302	2009	00119898	
2	1153265	D2023	Water Heater	19 GAL	Library	Utility closet	Lochinvar	JRC020DS 200	1406J002720	2014	00248835	
3	1152550	D2023	Water Heater	20 GAL	Ipswich Haskell House	Basement	GE	GE20P06SAG	GE 0312606767	2012	00248871	
4	1154150	D2023	Water Heater	40 GAL	Highway Garage	Mezzanine	Lochinvar	LSN041G	14365346	2012	00119892	
5	1153064	D2023	Water Heater	50 GAL	Linebrook Fire Station	Utility closet	Bradford White	M240S6DS-1NCWW	KK19029870 D/N	2013	00248817	
6	1152044	D2023	Water Heater	74 GAL	Town Hall	Fire Main Closet	State	GS675YRVIT 200	9211829004	2010	00119913	
7	1153175	D2023	Water Heater	80 GAL	Police & Annex	Electrical room	Bradford White	M280R10DS-1NCWW	D9041276 D/N	2007	00248852	
8	1153005	D2023	Water Heater	82 GAL	Ipswich Fire	Basement	State Industries, Inc.	CD5 82 2OR T973	H97664441	1997	00119875	
9	1153170	D2034	Sewage Ejector Pump	1 HP	Police & Annex	Basement	Goulds Pumps	3887	No tag		00248873	
10	1153169	D2043	Sump Pump	.3 HP	Police & Annex	Basement	Inaccessible					
11	1152979	D2043	Sump Pump	0.3 HP	Ipswich Fire	Basement	Hydr-o-matic	VA1-10	5436617	2015	00119873	
12	1152963	D2043	Sump Pump	0.3 HP	Ipswich Fire	Basement	Hydr-o-matic	VA1-10	Illegible	2009	00119901	
13	1153002	D2091	Air Compressor	10 HP	Ipswich Fire	Basement	Ingersoll Rand	2545E10VS	V355580	2015	00119891	
D30 HVAC												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1155657	D3011	Fuel Oil Tank Monitoring System	No tag/plate found	Highway Garage	Office	Veeder-Root	No tag/plate found				
2	1153095	D3011	Fuel Storage Tank	250 GAL	Linebrook Fire Station	Mechanical room						
3	1152974	D3011	Fuel Storage Tank	330 GAL	Ipswich Fire	Basement						2
4	1155656	D3011	Fuel Storage Tank- Buried		Highway Garage	Site						2
5	1174958	D3016	Solar Panel		Town Hall	Main roof				2015		150
6	1152553	D3021	Boiler	120 MBH	Ipswich Haskell House	Utility closet	Munchkin	MC-120	L14P44013	2009	00248841	
7	1152964	D3021	Boiler	606 MBH	Ipswich Fire	Basement	Burnham	V904A	65155131	2009	00119874	
8	1153239	D3021	Boiler [B-1]	199 MBH	Library	Boiler room	Munchkin	199M R2	G23P 20830	2001	00248832	
9	1153269	D3021	Boiler [B-2]	199 MBH	Library	Boiler room	Munchkin	199M R2	G23P 20831	2001	00248833	
10	1152037	D3021	Boiler	1500 MBH	Town Hall	Mechanical room	HydroTherm	MR-1500B	R-2002-1022	2002	00119921	
11	1152041	D3022	Expansion Tank	100 GAL	Town Hall	Mechanical room	Taco	CBX-425-3	G04964	2006	00119918	
12	1153306	D3031	Chiller	20 TON	Library	Boiler room	No tag	RS0200H29	A01L00001	1998	00248834	
13	1152012	D3032	Condensing Unit/Heat Pump [ACCU-1]	5 TON	Town Hall	Roof	Unitary Products Group	HIRAD60S25A	WGHP281130	2002	00164862	
14	1152028	D3032	Condensing Unit/Heat Pump [ACCU-2]	10 TON	Town Hall	Roof	York	H2CE120A25E	SNKJM122480	2008	00164861	
15	1152032	D3032	Condensing Unit/Heat Pump [HP-1B]	2 TON	Town Hall	Roof	Mitsubishi	PUGH24BKB	0182200	2000	00164852	
16	1153261	D3032	Condensing Unit/Heat Pump [Unit 2]	5 TON	Library	Site	Thermal Zone	TZAB-360-2N	W341631336	2016	00248814	
17	1153256	D3032	Condensing Unit/Heat Pump [Unit 3]	4 TON	Library	Site	American Standard Inc.	TTD748B100A0	D50260762	1990	00248815	
18	1153270	D3032	Condensing Unit/Heat Pump [Unit 4]	2.5 TON	Library	Site	Thermal Zone	TZAB-330-2N	W121737978	2016	00248847	
19	1153131	D3032	Ductless Split System	0.75 TON	Police & Annex	Site	Sanyo	C0971	0037581	2008	00248830	
20	1153180	D3032	Ductless Split System	1 TON	Police & Annex	Site	Mitsubishi	MUZ-GE12NA2	4005613T	2014	00248827	
21	1152038	D3032	Ductless Split System	1 TON	Town Hall	IT Closet	Daikin Industries	RX12NMVJU	G000838	2012	00164859	
22	1153268	D3032	Ductless Split System	1 TON	Library	Archive	Sanyo	C1211	0076492	2001	00248850	
23	1153285	D3032	Ductless Split System	1 TON	Library	Staff Area	Sanyo	C1211	0140293	2001	00248848	
24	1153130	D3032	Ductless Split System	1 TON	Police & Annex	Site	Sanyo	C1271	0074281	2008	00248828	
25	1153154	D3032	Ductless Split System	1.5	Police & Annex	Site	Daikin Industries	2MXL18GMVJU	G003526	2018	00248844	
26	1153010	D3032	Ductless Split System	1.5 TON	Ipswich Fire	Site	Daikin Industries	RXS18LVJU	G015299	2017	00119895	
27	1153157	D3032	Ductless Split System	2	Police & Annex	Site	York	DHPM24CSM42Q1A	No tag	2014	00248846	
28	1152971	D3032	Ductless Split System	2 TON	Ipswich Fire	Site	Daikin Industries	RXS24LVJU	G006821	2015	00119896	
29	1153016	D3032	Ductless Split System	2 TON	Ipswich Fire	Basement	Thermal Zone	242-1005-C	C101314770311325130129	2010	00119899	
30	1152983	D3032	Ductless Split System	2.5 TON	Ipswich Fire	Site	Daikin Industries	RXS30LVJU	E001578	2015	00119897	
31	1153148	D3032	Ductless Split System	3	Police & Annex	Site	Daikin Industries	4MXS36RMVJU	G002492	2018	00248845	
32	1154147	D3032	Ductless Split System		Highway Garage	Building exterior	Mitsubishi	MXZ-2B20NA -	3005582	2008	00119884	
33	1153144	D3032	Ductless Split System	1 TON	Police & Annex	Site	Daikin	RX12NMVJU	G023554	2017	00248831	
34	1153165	D3032	Ductless Split System	2 TON	Police & Annex	Site	Mitsubishi	MUZ-GE24NA	5003643	2015	00248829	
35	1153274	D3041	Air Handler	500 CFM	Library	Throughout building	USA Coil and Air	XVD-08	7288A113	2001		5
36	1152016	D3041	Air Handler [AHU-1]	2000 CFM	Town Hall	Gymnasium	Unitary Products Group	K2EU060A06A	SNHJS006249	2002	00119908	
37	1152042	D3041	Air Handler [AHU-2]	4000 CFM	Town Hall	Gymnasium	Unitary Products Group	K3EU120A33B	SNKJS006700	2002	00119910	
38	1152969	D3042	Exhaust Fan	1500 CFM	Ipswich Fire	Throughout building	Plymovent	OS-3	No tag	2009	00119903	
39	1153077	D3042	Exhaust Fan	1500 CFM	Linebrook Fire Station	Equipment Bay	Plymovent	OS-3	No tag		00248883	
40	1152048	D3042	Exhaust Fan	250 CFM	Town Hall	Rec office	CFM	Inaccessible	Inaccessible	2008	00119907	
41	1152017	D3042	Exhaust Fan	300 CFM	Town Hall	Roof	Greenheck	SDBD10	Y71301	2018	00164853	
42	1153138	D3042	Exhaust Fan [EF-1]	500 CFM	Police & Annex	Attic	Porter	9B	HF3850		00248875	
43	1153147	D3042	Exhaust Fan [EF-2]	500 CFM	Police & Annex	Attic	Porter	9B	GF7132		00248874	
44	1153139	D3042	Exhaust Fan [EF-3]	500 CFM	Police & Annex	Attic	Porter	11B	HF 1.267		00248826	
45	1152024	D3042	Exhaust Fan	250 CFM	Town Hall	Roof	Acme Fan Company	PRN145 G1	04D242005	2004	00164860	

46	1152043	D3042	Exhaust Fan [REF-1]	2500 CFM	Town Hall	Roof	Illegible	VEBK30R1C1NA20SPC1	850601.001	2000	00164858
47	1152022	D3044	Distribution Pump [P-1]	2 HP	Town Hall	Mechanical room	Taco	Illegible	Illegible	2002	00119919
48	1152014	D3044	Distribution Pump [P-2]	2 HP	Town Hall	Mechanical room	Taco	Illegible	Illegible	2002	00119920
49	1153162	D3051	Air Conditioner	1 TON	Police & Annex	Throughout building					3
50	1153092	D3051	Baseboard Heater	1500 WATTS	Linebrook Fire Station	Throughout building				1985	4
51	1153085	D3051	Furnace	194 MBH	Linebrook Fire Station	Mechanical room	Olsen	BCL190	4616B012416	2016	00248818
52	1154140	D3051	Unit Heater	200 MBH	Highway Garage	Right Bay	Reznor	Inaccessible	Inaccessible	2015	2
53	1154143	D3051	Unit Heater	250 MBH	Highway Garage	Main Bay	Reznor	Inaccessible	Inaccessible	2015	3
54	1152976	D3051	Unit Heater	250 MBH	Ipswich Fire	Throughout building	Modine Manufacturing	Hot Dawg	Inaccessible	2009	2
55	1153140	D3051	Unit Heater	5 kW	Police & Annex	Exercise Room	Dayton	Inaccessible	Inaccessible		
56	1152036	D3052	Packaged Unit (RTU)	4 TON	Town Hall	Roof	York	PCG4A240752X1A	SW1G7948591	2018	00164855
57	1152018	D3052	Packaged Unit (RTU)	20 TON	Town Hall	Roof	York	J20ZJN24T2TZZ30002	N1K5008000	2016	00164854
58	1152013	D3052	Packaged Unit (RTU)	25 TON	Town Hall	Roof	York	J25ZJN24T2TZZ30002	SN1K5008017	2016	00164856
59	1152035	D3052	Packaged Unit (RTU)	6 TON	Town Hall	Roof	York	ZF072H12B2A1AAA1A1A	N1B7399253	2018	00164851
60	1152040	D3052	Packaged Unit (RTU)	6 TON	Town Hall	Roof	York	ZF072H12B2A1AA	N1B7394075	2018	00164857
61	1153241	D3052	Packaged Unit (RTU) [North 1]	6 TON	Library	Roof	Bryant	580JPO7A115A2AOAAA	2917C51604	2017	00248879
62	1153293	D3052	Packaged Unit (RTU) [North 2]	6 TON	Library	Roof	Bryant	580JPO7A115A2A0AAA	2917C51606	2017	00248880
63	1153287	D3052	Packaged Unit (RTU) [North 3]	7.5 TON	Library	Roof	Bryant	580JPO8D180A2A0AAA	2717P34008	2017	00248881
64	1153263	D3052	Packaged Unit (RTU) [South 1]	6 TON	Library	Roof	Bryant	580JPO7A115A2A0AAA	2917C51603	2017	00248885
65	1153296	D3052	Packaged Unit (RTU) [South 2]	6 TON	Library	Roof	Bryant	580JPO7A115A2A0AAA	2817C51390	2017	00248878
66	1153291	D3052	Packaged Unit (RTU) [South 3]	7.5 TON	Library	Roof	Bryant	580JPO8D180A2AOAAA	SRAL2717P34006	2017	00248877

D40 FIRE PROTECTION

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1152023	D4011	Backflow Preventer	4 INCH	Town Hall	Fire Main Room	Wilkins	350	J01653	2002	00119912	
2	1153300	D4011	Backflow Preventer	4 INCH	Library	Utility closet	Ames	2000SS	2BN1466	1998	00248812	

D50 ELECTRICAL

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1153155	D5012	Disconnect Switch	600 AMP	Police & Annex	Electrical room				1990		
2	1174979	D5012	Distribution Panel		Highway Garage	Mezzanine						
3	1152982	D5012	Distribution Panel [MDP]	200 AMP	Ipswich Fire	Basement	Eaton	No tag	No tag	2016	00119876	
4	1152026	D5012	Distribution Panel	600 AMP	Town Hall	Electrical room	Siemens	S5C60ML800BBS	79-35727-A00	1996	00119916	
5	1152030	D5012	Switchboard [MDP]	1200 AMP	Town Hall	Electrical room	Siemens	S5C9ON6120ETS	17-16786-A00	2000	00119917	
6	1153247	D5012	Switchboard [MDP]	800 AMP	Library	Electrical room	GE	Spectra Series	069X634917	1998	00248813	
7	1153014	D5012	Transfer Switch	200 AMP	Ipswich Fire	Basement	Kohler	Inaccessible	Inaccessible	2016	00119877	
8	1152034	D5012	Transfer Switch	400 AMP	Town Hall	Utility closet	Generac	No tag	No tag	2008	00119911	
9	1153166	D5012	Transfer Switch	400 AMP	Police & Annex	Electrical room	Eaton	ATC 300	No tag	2018	00248843	
10	1152545	D5019	Load Center	100 AMP	Ipswich Haskell House	Basement	Square D	R-2160	No tag	2009	00248872	
11	1153061	D5019	Load Center	200 AMP	Linebrook Fire Station	Equipment Bay	Square D	No tag	No tag	1985	00119887	
12	1154138	D5022	Flood Light		Highway Garage	Building exterior				2016		4
13	1153082	D5022	Flood Light		Linebrook Fire Station	Building exterior						
14	1152027	D5022	High Pressure Sodium Lighting Fixture	250 WATT	Town Hall	Building exterior						9
15	1153253	D5022	Incandescent Lighting Fixture	200 WATT	Library	Building exterior				1998		4
16	1152050	D5022	LED Lighting Fixture	11 WATT	Town Hall	Building exterior				2015		2
17	1152966	D5022	LED Lighting Fixture	15 WATT	Ipswich Fire	Building exterior				2010		7
18	1153299	D5022	LED Lighting Fixture	20 WATT	Library	Building exterior				2016		5
19	1152091	D5022	LED Lighting Fixture	20 WATT	Town Hall	Building exterior				2015		3
20	1153237	D5037	Fire Alarm Control Panel		Library	Lobby	Harrington Fire System	No tag	No tag	2014	00248876	
21	1153161	D5037	Fire Alarm Control Panel		Police & Annex	Electrical room	Simplex	2001	No tag		00248842	
22	1152025	D5037	Fire Alarm Control Panel		Town Hall	Electrical room	Gamewell	No tag/plate found	No tag/plate found	2002	00119915	
23	1153076	D5037	Fire Alarm Control Panel		Linebrook Fire Station	Equipment Bay	Fire-Lite	No tag	No tag	1985	00119886	
24	1174963	D5092	Generator		Police & Annex	Site				2019		
25	1152047	D5092	Generator	180 kW	Town Hall	Site	Generac	9711-0	2017-25	2002	00164875	
26	1153013	D5092	Generator	38 kW	Ipswich Fire	Site	Kohler	38RCL8	SGM32GRTR	2016	00119894	
27	1154141	D5092	Generator	kW	Highway Garage	Site	Wayne	G6201P/27AGJK	96613B		00164876	
28	1154145	D5092	Generator	kW	Highway Garage	Site	Benner	Illegible	Illegible		00164889	

E10 EQUIPMENT

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1153008	E1016	Commercial Laundry	40 LB	Ipswich Fire	Truck Bay	Wascomat	W640	00650/0013905	2004	00119902	
2	1154167	E1031	Garage Door Opener		Highway Garage	Throughout building	LiftMaster	Inaccessible	Inaccessible	2010		6
3	1152988	E1031	Garage Door Opener		Ipswich Fire	Throughout building	LiftMaster	Inaccessible		2012		5
4	1153087	E1031	Garage Door Opener		Linebrook Fire Station	Equipment Bay						2
5	1153003	E1093	Commercial Range/Oven, 4-Burner w/ Griddle		Ipswich Fire	Kitchen	American Range	No tag	No tag	2012	00119905	
6	1152990	E1093	Commercial Refrigerator, 2-Door Reach-In		Ipswich Fire	Kitchen	True Manufacturing Co	T-35	8887640	2012	00119904	
7	1152995	E1094	Residential Dishwasher		Ipswich Fire	Kitchen	KitchenAid	KDTE104ESS2	F63720044	2015		
8	1153080	E1094	Residential Fixtures		Linebrook Fire Station	Equipment Bay						6

G40 OTHER

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1152052	G4021	Pole Light	135 WATT	Town Hall	Site				2016		10
2	1154152	G4021	Pole Light	400 WATT	Highway Garage	Site						5
3	1153283	G4021	Walkway Bollard Light	100 WATT	Library	Site						